

# RANDWOOD ESTATE

144 John Street East, 176 John Street East, 200 John Street East, 588 Charlotte Street, Niagara-on-the-Lake, Ontario

## CRB + LPAT Appeals - Heritage Impact Analysis

DECEMBER 18, 2018

## PART II: APPENDICES

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PREPARED FOR:

Save Our Randwood Estate (SORE)

PREPARED BY:

ERA Architects Inc.  
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Toronto ON, M4Y 2G1  
416-963-4497

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## PART II

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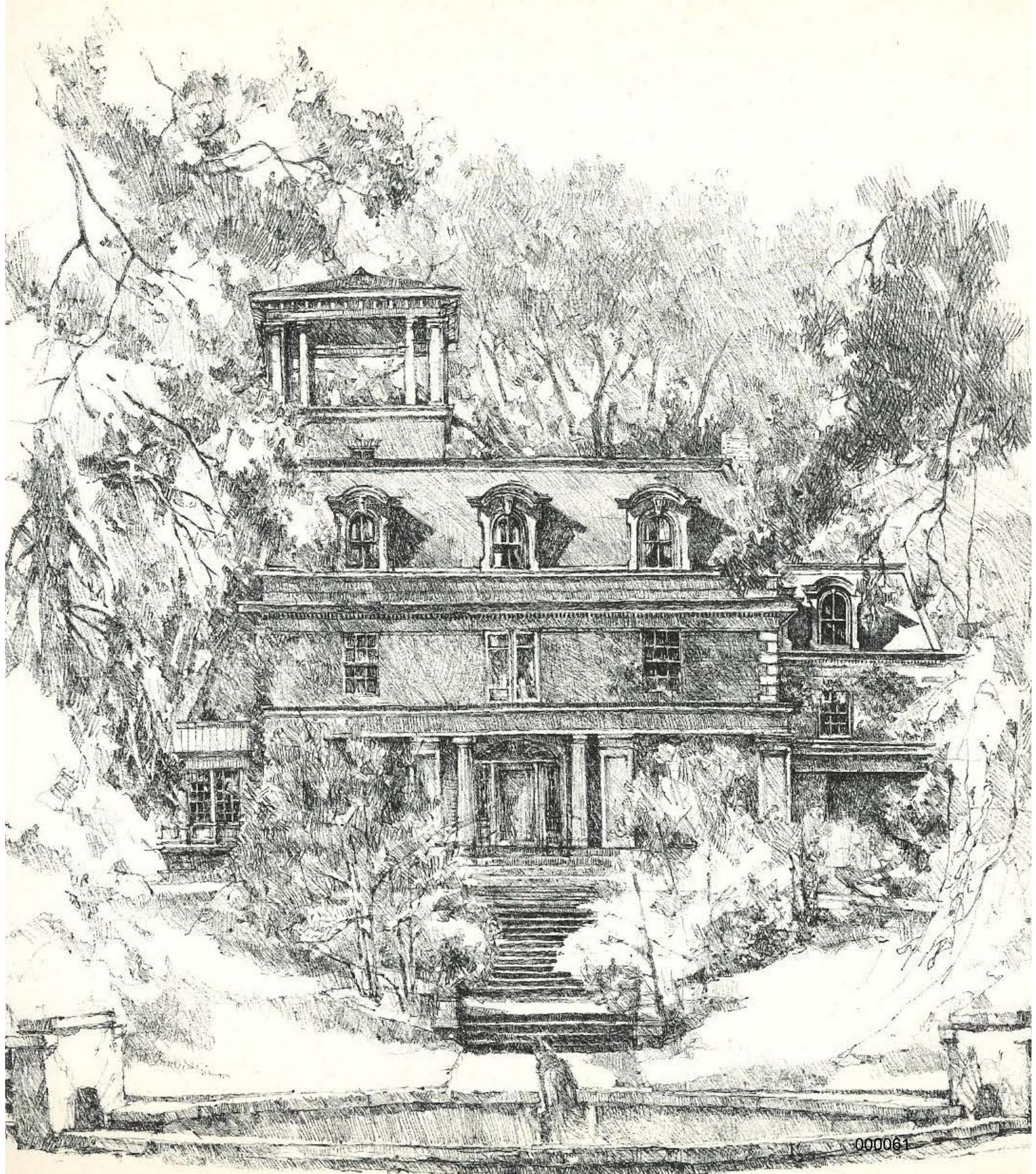
COVER PAGE: Pool and pavilion at Randwood.

Project # 18-030-01  
Prepared by MM/AC/AG/JS



ISSUED/REVISED: 18 DECEMBER 2018 iii

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# APPENDICES

ERA Written Submissions



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

February 13, 2018

Members of the Municipal Heritage Committee  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Members of the Municipal Heritage Committee:

**RE: Staff Report MHC-18-008, 144 & 176 John Street East, Randwood**

E.R.A. Architects has been retained by Save Our Randwood Estate (SORE) to review the Two Sisters hotel proposal for the Randwood Estate from a heritage perspective. As part of our review, we have been following the public process associated with the Zoning By-law Amendment and Site Plan Approval applications for the site. These comments pertain to the Staff Report currently before the Municipal Heritage Committee (Report MHC-18-008, February 13, 2018).

First and foremost, we would like to congratulate Heritage Staff on an excellent report which demonstrates a commitment to conserving the cultural heritage value of the Randwood Estate. This is an astonishing property with significance extending far beyond the local. Its layering of natural, architectural, and designed landscape elements date back to the early nineteenth century and reflect historic cultural practices and land-use patterns in one of Canada's earliest settlement Towns. The estate (which includes not only the two John Street properties proposed for development, but also 200 John street and 588 Charlotte Street) also includes significant designed landscape elements by Dunnington-Grubb, Canada's preeminent landscape architecture firm of the twentieth century. These later estate elements have significant cultural heritage value in their own right and also demonstrate a history of design-sensitive stewardship of the 19<sup>th</sup>-century estate property. In addition to the resources within the estate, Randwood is adjacent to Butler's Barracks and Fort George national historic site. Randwood's cultural heritage value needs to be understood and conserved in this wider context.

In its advisory role to Council, the Municipal Heritage Committee has a responsibility to steward this resource not just for citizens of Niagara-on-the-Lake, but for all of Canada. Under the Ontario Heritage Act and operating within provincial policy and the Town's draft Official Plan, the Committee has the ability to recommend designation of properties with cultural heritage value to Council. In turn, Council has the authority to designate properties independent of any related planning process or reliance on third party stewardship of the property (OHA, Part IV, 29(1)). The concept of "third party" designations is not referenced in the Ontario Heritage Act, Provincial Policy Statement, or in the Town's draft Official Plan and should not be an impediment to designation in this case if recommended by the Municipal Heritage Committee.

The Town is responsible for protecting heritage resources under the Provincial Policy Statement (2.6.1) and its own draft Official Plan (7.2.3.1(1)(b)). Ontario Municipal Board hearings pertaining to municipal responsibility to protect heritage resources may provide further context (e.g. 145 Victoria Avenue (Blessed Sacrament Church), Chatham-Kent, Decision/Order No.1036 and 14795 Niagara River Parkway, Niagara-on-the-Lake, Decision/Order No. 0893). The OMB has consistently confirmed the duty of municipalities to act proactively to designate identified cultural heritage resources of which the Randwood Estate is a particularly exceptional example. A similar court case (Tremblay v. Lakeshore (Town)) held that requiring the owner's consent before considering a designation was not consistent with the intent of the Ontario Heritage Act (<https://danschneiderheritage.blogspot.ca/2015/11/the-oha-what-courts-have-to-say-part.html>).

The significance and cultural heritage value of the estate has already been identified by the Town and the Applicant's heritage consultant. The Town has the ability to act independently to designate the property and we hope and encourage that it does so quickly. This is not a rally against development, but a call to take action to ensure that the Town protects its heritage resources and ultimately approves a contextually sensitive proposal.

Operating within the framework of the Town's Official Plan, provincial policy, and best practices in heritage conservation, Heritage Staff have made a series of recommendations to steward this resource. We support Staff's recommendations and submit the following comments for the Committee's consideration.

#### **Peer-Review**

- We strongly recommend that the Municipal Heritage Committee be involved in the preparation of a Terms of Reference for the peer review. We would be pleased to provide our input on the Terms of Reference.
- The peer reviewer should be carefully selected with regard to relevant experience and recognized expertise.
- The Terms of Reference should create parameters for a holistic review of the application, including 200 John Street and the subdivision referenced in the Applicant's Heritage Impact Assessment.
- The Terms of Reference should outline policy documents relevant to the peer review, including the Ministry of Tourism, Culture & Sport's forthcoming guide on the identification, evaluation and management of cultural heritage landscapes (anticipated May 2018). The peer review should proceed after this Ministry guidance is available.
- Both an independent peer reviewer (Brook McIlroy Inc.) and Parks Canada provided comments on the 2011 proposal for the same site. These comments should be addressed in the peer review of the current application and reflected in any proposal that is approved by the Town.
- General comments from Brook McIlroy include: consideration for siting and setbacks to create architecture that is restrained and contextually sensitive to the heritage context; a maximum recommended height of 3 storeys above grade for new construction; and, the use of high quality architectural materials in keeping with the period of the existing buildings.

- Parks Canada recommended that development be limited to a maximum of 4 storeys with consideration for chimney and turret heights to protect the forested horizon as viewed from the Commons of Butler's Barracks and Fort George. The peer review should address potential impacts to the Parks Canada site which is a national heritage resource and a significant tourist attraction for the Town.

### **9/06 Assessment**

- The Applicant's heritage consultant has prepared a draft Statement of Significance which should be used as a starting point for the 9/06 assessment.
- We note that the draft Statement of Significance identifies the boxwood hedge as an attribute. We understand that this feature of the estate has been largely decimated by the Applicant, pointing to the urgency of protecting the property through designation. We suggest that the Committee urgently request that the Town take immediate action to ensure further and irreparable damage to Randwood be prevented.

### **588 Charlotte Street and 200 John Street**

- 588 Charlotte Street and 200 John Street have a historic relationship to the Randwood Estate and their cultural heritage value and significance should be fully understood before impacts to Randwood can be properly assessed. The comprehensive assessment of the estate landscape and adjacent resources is important for evaluating impacts of the current proposal.
- Additional research on Dunington-Grubb's contributions to the full extent of the Estate landscape, including 588 Charlotte Street and 200 John Street will also be required to inform the 9/06 assessment for 144 & 176 John Street. E.R.A. has begun its own analysis of Dunington-Grubb's contributions to the Estate landscape and can provide supporting comments if needed.

Again, we congratulate Heritage Staff on an excellent report and their commitment to conserving the Town's cultural heritage resources. We look forward to further input as this matter evolves.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:  
Save Our Randwood Estate (SORE)  
Lord Mayor  
Town Council Council  
Denise Horne  
Raymond Chung  
Tara Druzina  
Mike Zettel



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

March 2, 2018

Sent by EMAIL

Denise Horne  
Jesse Ausphitz  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
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[dhorne@notl.org](mailto:dhorne@notl.org)  
[jausphitz@notl.org](mailto:jausphitz@notl.org)

Dear Denise and Jesse:

**RE : Peer Review of development proposal for 144 & 176 John Street East, Randwood**

E.R.A. Architects has been retained by Save Our Randwood Estate (SORE) to review the Solmar/Marotta proposal for the Randwood Estate from a heritage perspective. As part of our review, we have been following the public process associated with the Zoning By-law Amendment and Site Plan Approval applications for the site and served as a delegation at the Municipal Heritage Committee Meeting on February 13, 2018. As part of our delegation, we spoke on the importance of a peer review process for the development application. We made the following recommendations:

- We strongly recommend that the Municipal Heritage Committee be involved in the preparation of a Terms of Reference for the peer review. We would be pleased to provide our input on the Terms of Reference.
- The peer reviewer should be carefully selected with regard to relevant experience and recognized expertise.
- The Terms of Reference should create parameters for a holistic review of the application, including 200 John Street & 588 Charlotte Street and the subdivision referenced in the Applicant's Heritage Impact Assessment.
- The Terms of Reference should outline policy documents relevant to the peer review, including the Ministry of Tourism, Culture & Sport's forthcoming guide on the identification, evaluation and management of cultural heritage landscapes (anticipated May 2018). The peer review should proceed after this Ministry guidance is available.

- Both an independent peer reviewer (Brook McIlroy Inc.) and Parks Canada provided comments on the 2011 proposal for the same site. These comments should be addressed in the peer review of the current application and reflected in any proposal that is approved by the Town.
- General comments from Brook McIlroy include: consideration for siting and setbacks to create architecture that is restrained and contextually sensitive to the heritage context; a maximum recommended height of 3 storeys above grade for new construction; and, the use of high quality architectural materials in keeping with the period of the existing buildings.
- Parks Canada recommended that development be limited to a maximum of 4 storeys with consideration for chimney and turret heights to protect the forested horizon as viewed from the Commons of Butler's Barracks and Fort George. The peer review should address potential impacts to the Parks Canada site which is a national heritage resource and a significant tourist attraction for the Town.

The selection of the peer reviewer is critical to the success of this process, and, ultimately, the conservation of the cultural heritage value of the Randwood Estate. The following list of heritage professionals would have the capabilities needed to take on the complexities of the site itself and the public process unfolding as part of the development applications:

- Julian Smith & Associates, Architects (<http://www.juliansmitharchitects.ca>)
- Letourneau Heritage Consulting Inc. ([https://lhheritage.com/cms/?page\\_id=386](https://lhheritage.com/cms/?page_id=386))
- GBCA Architects (<http://gbca.ca>)
- David J. Cuming, Cultural Heritage Resource Planning & Conservation ([heritageplanning@bell.net](mailto:heritageplanning@bell.net))
- Andre Scheinman, Heritage Preservation Consultant ([andre.preserve@gmail.com](mailto:andre.preserve@gmail.com))

Finally, we would like to reiterate that a Terms of Reference for the peer review will be essential to ensuring a successful outcome and strongly encourage Staff to work with the Heritage Committee on this aspect of the process. E.R.A. would also be pleased to provide input on the Terms of Reference or other support and information as needed.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

April 16, 2018

Lord Mayor and Members of Council  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

**RE: Report CDS-10-014 (Development proposal for 144 & 176 John Street East,  
Randwood)**

E.R.A. Architects has been retained by Save Our Randwood Estate (SORE) to review the Solmar/Marotta proposal for a hotel/conference facility on the Rand Estate from a heritage perspective. As part of our review, we have been following the public process associated with the Zoning By-law Amendment and Site Plan Approval applications for the site and served as a delegation at the Municipal Heritage Committee Meeting on February 13, 2018. On March 2, 2018, we submitted a memo to Denise Horne and Jesse Auspitz with recommendations for the peer review process of the development proposal. These submissions are attached as reference.

Tonight, we welcome the opportunity to speak directly to Council on this important matter.

- First, we would like to reiterate our congratulations to Staff on their February 13<sup>th</sup> report, which demonstrated a commitment to conserving the significant cultural heritage value of the Rand Estate.
- We also applaud the Municipal Heritage Committee's recommendations, which we understand are in front of Council tonight for approval and action. The Town and its residents are fortunate to have a dedicated and knowledgeable Committee to assist in assessing this proposal and in conserving Niagara-on-the-Lake's heritage resources.
- Randwood is an astonishing property with significance extending far beyond this municipality. Its layering of natural, architectural, and designed landscape elements date back to the early nineteenth century and reflect historic cultural practices and land-use patterns in one of Canada's earliest settlement Towns. The Rand Estate - which includes not only the two John Street properties proposed for development, but also 200 John street and 588 Charlotte Street - contains significant designed landscape elements by Dunnington-Grubb, Canada's preeminent landscape architecture firm of the twentieth century. These later estate elements have significant cultural heritage value in their own right and also demonstrate a history of design-sensitive stewardship of the 19<sup>th</sup>-century estate property. In addition to the resources within the estate, Randwood is adjacent to Butler's Barracks and Fort George national historic site. Randwood's cultural heritage value needs to be understood and conserved in this wider context.

- This extraordinary resource should be stewarded by the Town, which has a responsibility not just to citizens of Niagara-on-the-Lake, but to all Canadians. Under the Ontario Heritage Act and operating within provincial policy and the Town's draft Official Plan, the Committee has the ability to recommend designation of properties with cultural heritage value to Council. In turn, Council has the authority, and several OMB decisions have confirmed the RESPONSIBILITY, to designate properties independent of any related planning process or reliance on third party stewardship of the property (OHA, Part IV, 29(1)).
- The significance and cultural heritage value of the estate has already been identified by the Town and the Applicant's heritage consultant. Given the Town's ability to act independently to designate one of the most significant heritage properties in NOTL, we hope and encourage that Council and Staff do so quickly and on your own initiative. We reiterate that the Town has the ability to designate the property independent of the applicant's involvement or the development application and that OMB decisions have confirmed the responsibility of municipalities to protect their cultural heritage resources.
- One of the recommendations before you is for the peer-review of the development proposal. We strongly support this recommendation and also suggest that the Municipal Heritage Committee be involved in the preparation of a Terms of Reference for the peer review. Under the amendment to the Town's Official Plan for the Romance Inn, the Heritage Committee has final approval over proposed development on the Rand Estate. A successful process therefore depends on the early and detailed involvement of the Municipal Heritage Committee in any peer review process.
- The selection of the peer reviewer is critical to the success of this process, and, ultimately, the conservation of the cultural heritage value of the Randwood Estate. In our view, the Terms of Reference should create parameters for a holistic review of the application in the context of the Rand Estate property, including 200 John Street & 588 Charlotte Street and the subdivision referenced in the Applicant's Heritage Impact Assessment. 588 Charlotte Street and 200 John Street have a historic relationship to the Randwood Estate; elements of the Dunnington-Grubb designed landscape extends to both of them, and their cultural heritage value and significance should be fully understood before impacts to Randwood can be properly assessed. The comprehensive assessment of the estate landscape and adjacent resources is essential to properly evaluate impacts of the current proposal.
- Subsequent to our delegation to the February MHC meeting, ERA provided Town staff with a list of heritage professionals who in our view have the capabilities needed to take on the significant complexities of the site which includes built and landscape elements. We understand that the applicant raised objections in front of this Council to the impartiality of that list. We would like to take this opportunity to advise Council that the list of professionals provided to Staff are unconnected to our firm. We are in fact on opposing sides of different matters with some of these experts. We did not speak to any of these firms or individuals before providing their names to the Town. The list includes qualified professionals with demonstrated experience and expertise to undertake the analysis of a complex site and development proposal. It is our best advice to the Town and we would be pleased to forward these recommendations directly to Council should you wish.
- In 2009, students at The School of Restoration Arts at Willowbank produced a study of the Randwood Estate with a focus on the glasshouse originally at 200 John Street. This report should be reviewed by

Staff, the applicant's heritage consultant, and the selected peer reviewer as it contains information that will contribute to the understanding of the cultural heritage value of 200 John Street and the Rand Estate as a whole.

- In closing, we would like to emphasize that these comments are not intended as a rally against development, but instead speak to actions that can be taken by the Town to ensure its cultural heritage resources are protected and that a contextually sensitive development proposal is approved. Thank you for the opportunity to speak to you tonight on this very important matter and we look forward to following the ongoing public process.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

February 13, 2018

Members of the Municipal Heritage Committee  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Members of the Municipal Heritage Committee:

**RE: Staff Report MHC-18-008, 144 & 176 John Street East, Randwood**

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Again, we congratulate Heritage Staff on an excellent report and their commitment to conserving the Town's cultural heritage resources. We look forward to further input as this matter evolves.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Save Our Randwood Estate (SORE)

Lord Mayor

Town Council Council

Denise Horne

Raymond Chung

Tara Druzina

Mike Zettel



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

March 2, 2018

Sent by EMAIL

Denise Horne  
Jesse Ausphitz  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0  
[dhorne@notl.org](mailto:dhorne@notl.org)  
[jausphitz@notl.org](mailto:jausphitz@notl.org)

Dear Denise and Jesse:

**RE : Peer Review of development proposal for 144 & 176 John Street East, Randwood**

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- Letourneau Heritage Consulting Inc. ([https://lhheritage.com/cms/?page\\_id=386](https://lhheritage.com/cms/?page_id=386))
- GBCA Architects (<http://gbca.ca>)
- David J. Cuming, Cultural Heritage Resource Planning & Conservation ([heritageplanning@bell.net](mailto:heritageplanning@bell.net))
- Andre Scheinman, Heritage Preservation Consultant ([andre.preserve@gmail.com](mailto:andre.preserve@gmail.com))

Finally, we would like to reiterate that a Terms of Reference for the peer review will be essential to ensuring a successful outcome and strongly encourage Staff to work with the Heritage Committee on this aspect of the process. E.R.A. would also be pleased to provide input on the Terms of Reference or other support and information as needed.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

June 4, 2018

Members of the Committee of the Whole  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Lord Mayor Darte and Town Councillors:

**RE: Report CDS-18-028 (Municipal Heritage Committee Minutes – May 8, 2018) –  
Randwood Estate**

E.R.A. Architects continues to follow the public process associated with the Zoning-Bylaw Amendment and Site Plan Approval for the Randwood estate on behalf of Save Our Randwood Estate (SORE). To date, E.R.A. has served as a delegation at the Municipal Heritage Committee Meeting (February 13, 2018), submitted a memo on the peer review process to Staff (March 2, 2018), served as a delegation to Town Council (April 4, 2018), and is now before the Committee of the Whole (June 4, 2018). We thank the Town for the continued opportunity to engage with this important file on behalf of SORE and its supporters.

As E.R.A. has previously stated, our delegations address actions that can be taken by the Town to ensure its cultural heritage resources are protected and that a contextually sensitive development proposal is approved. Randwood is an extraordinary cultural heritage resource that should be stewarded by the Town, not just for its own citizens, but for all Canadians.

The validity and urgency of this approach has been acknowledged by the Town and acted upon at April Town Council through amended motions directing Staff to undertake the 9/06 evaluation of 144 John Street East, 176 John Street East, 200 John Street East, and 588 Charlotte Street as part of the designation process and which are reflected in report recommendations before you tonight. We also note the motion adopted unanimously by the Town's Municipal Heritage Committee (MHC) at its May 8 meeting urging Council to proceed immediately with the designation process on all four properties.

We are also pleased that the report clarifies misconceptions surrounding third party designation. The report quotes the *Ontario Heritage Toolkit* which states: “[t]he owner’s consent is not required for a designation to proceed. In some cases, council may have to act in the public interest to conserve a significant property, despite objections by the owner.” “Third party designation” is not referenced in the Ontario Heritage Act, Provincial Policy Statement, or in the Town’s draft Official Plan. Both case law and

OMB decisions have confirmed the responsibility of municipalities to act proactively to protect heritage resources, even when timely designation is not supported by the property owner.

Under the Ontario Heritage Act and operating within provincial policy and the Town's draft Official Plan, Council has the authority and, in this instance, a responsibility, to designate properties independent of any related planning process or reliance on third party stewardship of the property (OHA, Part IV, 29(1)). Section 7.2.3.1 (b) of the Town's draft Official Plan (June 2016) states: "[i]n order to protect heritage resources, the Town will give immediate consideration to designation under the Ontario Heritage Act of any significant cultural heritage resource that is threatened with demolition, inappropriate alterations or other potentially adverse impacts."

We reiterate that the cultural heritage value of the properties at 144 John Street East, 176 John Street East, 200 John Street East, and 588 Charlotte Street, all part of the original Rand Estate, in part derives from their association with the renowned landscape architecture firm, Dunington-Grubb, as well as extant elements of their landscape design, and the firm's broader influence on the character of these properties. The Applicant's Heritage Impact Assessment (HIA) identifies the significance of Dunington-Grubb's connection to these properties and notes that remnants of their work are found at 200 John Street. The Town has previously acted to protect a lesser example of this firm's work at the King's Landing property on Ricardo Street in 2008. The statement of significance for this property (attached) identifies attributes that include "any remaining landscaping designed by the firm of Dunington-Grubb."

200 John Street and 588 Charlotte also have cultural heritage value beyond their association with Dunington-Grubb. The applicant's HIA identifies buildings, features, and structures on both properties that may have cultural heritage value. These include the guest house, garage, pool, tea house, pool pavilion, gazebo and stone perimeter wall at 200 John, and the former Rand Estate Stables and stone wall at 588 Charlotte (pp36-39). The Town's research and evaluation of these properties should consider cultural heritage resources from all periods of the Estate's history and their interrelationships.

We would like to make the following recommendations to support the designation process and the steps already undertaken by the Town to protect its cultural heritage resources:

- As recommended by the Municipal Heritage Committee and by Town Staff (1.7.1), Staff should prepare and give Notices of Intention to Designate for the properties located at 144 John Street East, 176 John Street East, 200 John Street East, and 588 Charlotte Street.
- A motion to declare Town Council's Intention to Designate can be adopted now. That Motion should also declare that the properties at 200 John Street East and 588 Charlotte Street be added to the Town's Municipal Heritage Register, to join the properties at 144 John Street East and 176 John Street East which are already on the Municipal Register. The effect of this Motion will be to protect the four properties until the 9/06 evaluations are complete and the Notices of Intention to Designate are issued by Town Staff.
- Concurrently, Staff should prepare 9/06 evaluations and Statements of Significance for 144 John Street East, 176 John Street East, 200 John Street East, and 588 Charlotte Street, using the HIA as the basis for this work. The HIA already includes a Statement of Significance for 144 and 176 John Street East (attached), as well as background information on 200 John Street East and 588 Charlotte Street noting cultural heritage resources on these properties. Additional historical information on these

properties is also provided in the 2009 Willowbank study (referenced in the Applicant's HIA and E.R.A.'s delegation to Council) and should be used, along with additional research as required, to supplement information contained in the HIA. Since significant work has already been done, it is reasonable to expect formal Notices of Intention to Designate be issued within 30 days.

- We also note that Staff have our previous recommendations on heritage experts with appropriate expertise and experience to assist them with this important work.

Again, we thank you for the opportunity to participate in the public process associated with this important file.

Sincerely,

A handwritten signature in black ink, appearing to be 'Michael McClelland', written in a cursive style.

Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Save Our Randwood Estate (SORE)

## **Appendix V – Draft Statement of Significance – The Rand Estate – 144-176 John Street, Niagara-on-the-Lake**

The Rand Estate is a 5 hectare estate lot located on the south side of John Street between Charlotte Street and the Niagara River Parkway. It is a significant cultural heritage landscape that includes important built heritage resources, a formal designed landscape and a natural or picturesque landscape.

The estate dates back to the founding of the Town and was owned by such important early citizens as Peter Russell, Governor Simcoe's successor and William Dickson, a lawyer and merchant and member of the Legislative Council. Later summer residents included General Lansing, a prominent New York businessman and Civil War general, George Rand I and George Rand II, New York businessmen and philanthropists who made a lasting impact on the estate; and Calvin Rand, who, with Brian Doherty, founded the Shaw Festival.

The estate is indicative of the large lots and homes built in Niagara-on-the-Lake by wealthy summer visitors in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. There are three (3) significant buildings on the property and two (2) garden structures.

1. Randwood, the original summer home. This brick building may contain portions of the William Dickson house destroyed in the War of 1812-14. It has a mansard roof and characteristics of both the Second Empire and Italianate Villa styles. It has been considerably altered by a number of owners of the years.
2. The Coach House is the oldest of the three (3) buildings and may have been constructed by descendants of the William Dickson. It is Gothic Revival in style and was altered in the late 20<sup>th</sup> century.
3. The Sheets (Devonian) House was constructed in 1922 for Evelyn Rand on the occasion of her marriage to Henry Sheets. It is Colonial Revival in style and retains many original interior details, particularly on the main floor.
4. The brick pavilion and the wooden gazebo are significant structures that contribute to the picturesque cultural heritage landscape.

The property is enclosed on two (2) sides by a concrete and stone wall punctuated by brick pillars and two entrance gates, the main gate with its elaborate wrought iron details, and the gate leading to the Sheets (Devonian) house. The wall is a significant component of the cultural heritage landscape.

The Rand Estate contains remnants of a formal landscape designed by the firm of Dunninton-Grubb, pioneers in the profession of landscape architecture in Canada and founders of Sheridan Nurseries, who designed the landscapes for University Avenue in Toronto and Oakes Gardens in Niagara Falls. The natural or picturesque landscape

includes One Mile Creek and many unusual specimen trees and plants and native species. At one time the estate was a much larger, more self-sufficient and cohesive entity with a milkhouse, and stables which survives as a private home; but is now separated from the property.

## Description of Heritage Attributes

Key heritage attributes that reflect the Rand Estates importance as both a designed and natural or picturesque landscape indicative of the early settlement of the Town and the influx of wealthy summer residents in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries include:

- The concrete, brick and stone wall and entrance gate;
- The three extant buildings on the property – Randwood, the Coach House and the Sheets (Devonian House);
- The brick pavilion and the gazebo;
- The designed Dunnington-Grubb landscape including the walkway, lily pond, sculpture, stone bridges and walls and any remaining shrubs or plantings;
- Remnants of the picturesque natural landscape including mature native and specimen trees, plants and shrubs; and
- The boxwood hedge.

**THE CORPORATION  
OF THE  
TOWN OF NIAGARA-ON-THE-LAKE**

**BY-LAW NO. 4234-08**

(289 Ricardo Street, Roll No. 2627 010 001 06300 0000)

A BY-LAW TO DESIGNATE THE PROPERTY KNOWN MUNICIPALLY AS KING'S LANDING, 289 RICARDO STREET, IN THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE, IN THE PROVINCE OF ONTARIO, AS BEING OF CULTURAL HERITAGE VALUE OR INTEREST

**WHEREAS** Section 29 of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value or interest;

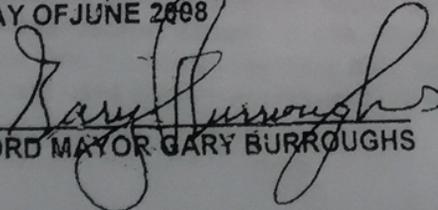
**AND WHEREAS** the Council of the Corporation of the Town of Niagara-on-the-Lake has caused to be served on the owner of the lands and premises known as King's Landing at 289 Ricardo Street, in the Town of Niagara-on-the-Lake in the Province of Ontario and upon the Ontario Heritage Trust, notice of intention to so designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality;

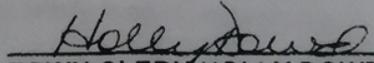
**AND WHEREAS** the reasons for designation are set out in Schedule 'B' hereto;  
**AND WHEREAS** no notice of objection to the proposed designation has been served on the clerk of the municipality.

**NOW THEREFORE** the Council of the Corporation of the Town of Niagara-on-the-Lake enacts as follows:

1. There is designated as being of cultural heritage value or interest the real property known as the King's Landing at 289 Ricardo Street in the Town of Niagara-on-the-Lake in the Province of Ontario, more particularly described in Schedule 'A' hereto.
2. The municipal solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule 'A' hereto.
3. The Clerk is hereby authorized to cause copy of this By-law to be served on the owners of the aforesaid property and on the Ontario Heritage Trust and to cause notice of the passing of this By-law to be published in a newspaper having general circulation.

**READ A FIRST, SECOND AND THIRD TIME AND PASSED ON THIS 30TH DAY OF JUNE 2008**

  
LORD MAYOR GARY BURROUGHS

  
TOWN CLERK HOLLY DOWD

## SCHEDULE 'B'

King's Landing, 289 Ricardo Street, 1908, Lot 5, Plan M18

### Description of Property

King's Landing is a 2 storey house constructed in the Tudor Revival style with a raised, stone clad basement, stone chimneys and a stone and half timber exterior. It is one of a number of large homes on expansive lots in the Town constructed in the late 19<sup>th</sup> and early 20<sup>th</sup> century as homes for wealthy summer visitors.

The property is located on the north side of Ricardo Street, east of the Nelson Street road allowance and west of Navy Hall in the Town of Niagara-on-the-Lake. The property backs onto the Niagara River. The lot is relatively narrow at the front and widens out on the river side. The house is set back from the street, closer to the Niagara River and is designed with its most prominent façade facing the river to take advantage of the water views and water access for boating purposes. A large concrete pier at the river's edge and a small boat house on the west side of the property are indications that previous owners were probably avid sailors.

### Statement of Cultural Heritage Value or Interest

King's Landing's cultural heritage value consists of the fact that it was constructed on land that was once part of the Navy Hall complex and that it occupies a prominent position on the Niagara River. The site for the house was part of the holdings of the Niagara Harbour and Dock Company, a large shipbuilding and repair enterprise. It was purchased by Walter Meneilley from the Honourable John Galt, in 1870 and remained in the Meneilley family as a vacant parcel until it was purchased by John Joseph Wright of Toronto in 1903. Wright constructed the little summer house, which still exists on the site, in 1906 and commenced construction of the main house in 1908.

Although the designer of the house is not known, the building was constructed in the classic Tudor Revival style common in the early 20<sup>th</sup> century. Exterior features characteristic of this style include an asymmetrical design and layout, half timbering, steeply pitched gabled roofs, groupings of narrow windows, dramatically tall off centre stone chimneys. One feature of note is the large open stone porch at the rear of the house, overlooking the river. This expansive space, with its large stone pillars and bead board ceiling is indicative of the fact that the façade facing the river was more important than the façade facing Ricardo Street.

Over the years there have been minor alterations to the exterior of the building. The music room was added in 1910 and extended on the river side c.1915. Other alterations include the relocation of the Ricardo Street entrance, the construction of an enclosed gabled space where there was once a balcony above the rear porch, and the addition of a glass conservatory addition to the music room in the second half of the 20<sup>th</sup> century (to be removed).

A landscape plan by the Lorrie A. Dunnington-Grubb was completed for the property in 1923 when it was purchased by Harris Wheaton Price of Cleveland Ohio. The firm of Dunnington-Grubb provided a landscape and planting plan which is still extant. Although much of the original design, including the flower beds, has been destroyed over the years, the area that includes the pergola and wisteria in front of the house are surviving features of the original design. A small screened wooden summer house with a bell cast roof is an early and significant landscape feature. It was constructed before the house was built. During the time the house was being built, the Wright family lived in tents on the property and used the summer house for dining.

The main floor of the house retains much of its original Tudor Revival detail including dark wood trim around doors and windows, plate rails, a large cobblestone fireplace with mantel and brackets in the living room and a smaller stone fireplace in the music room. Although the original front entrance, which was located directly in front of the staircase, has been closed and relocated, the staircase with its heavy carved newel post, newel cap and balustrade, has survived.

King's Landing's cultural heritage value also includes its association with the a number of prominent owners and designers including John Joseph Wright; Harris Wheaton Price; L. and H. Dunnington-Grubb, landscape architects; and Tricia Romance, artist.

John Joseph Wright, who built the house, was one of the most significant pioneers in electrical development in North America. He assisted in the electrification of Washington, D.C. and built the first electrical trolley line in Toronto. He also opened Toronto's first commercial power station and was elected the first president of the Canadian Electrical Association. Wright's permanent residence was in Toronto. His choice of a lot on the Niagara River, somewhat removed from the other large summer homes in Niagara-on-the-Lake, allowed him to moor his steam yacht *Electra* on the river so that he could sail back and forth between his offices in Toronto and his summer home in Niagara.

When Wright died in 1922, the property was purchased by Harris Wheaton Price of Cleveland Ohio and remained in his family until 1982. It was Mr. Price who engaged Lorrie Alfreda Dunnington-Grubb to lay out the gardens. Dunnington-Grubb and her husband, Howard Burlingham Dunnington-Grubb were two of the first landscape architects to practice in Canada. She was the first woman to practice the profession in Canada. Their work included the Rand Estate in Niagara-on-the-Lake, Oakes Gardens, the sunken gardens at McMaster University and Gage Park in Hamilton. The two founded Sheridan Nurseries to provide much needed nursery material for their many projects.

Tricia Romance, a well known artist, lived and painted in the house until just recently.

#### **Description of Key Heritage Attributes**

Key exterior, structural and landscape attributes that reflect the value of the King's Landing as an excellent and relatively rare example of the Tudor Revival style in the Town and, as one of the large summer homes constructed in the early 20<sup>th</sup> century with close associations to both the Niagara River and Lake Ontario, include:

- The entire exterior of the house including the covered stone porch on the Niagara River façade of the building.
- The summer house, in its relocated position.
- The pergola and any remaining landscaping designed by the firm of Dunnington-Grubb.
- The original wall and stone entrance pillars.
- The interior trim on the ground floor including baseboards, door surrounds, plate rails and mantelpieces.
- Original hardwood floors on the ground floor.
- The two stone fireplaces.
- The staircase including the newel post and balustrade.

**Properties**

*PIN* 46407 - 0031 LT  
*Description* PCL 5-3 SEC M18; PT LT 5 PL M18 PT 2 30R6729 AS CONFIRMED BY 30BA1363, PLAN M18 IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT ; NIAGARA ON THE LAKE  
*Address* 00289 RICARDO ST  
NIAGARA ON THE LAKE

**Applicant(s)**

This Order/By-law affects the selected PINs.

*Name* THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE  
*Address for Service* 1593 Creek Road, P.O. Box 100, Virgil  
ON L0S 1T0

I, Lord Mayor Gary Burroughs and I, Holly Dowd, Town Clerk, have the authority to bind the corporation.  
This document is not authorized under Power of Attorney by this party.

**Statements**

This application is based on the Municipality By-Law No. 4234-08 dated 2008/06/30.  
Schedule: See Schedules

**Signed By**

Callum Shedden 39 Queen St. P.O. Box 24022 acting for Signed 2008 07 07  
St. Catharines Applicant(s)  
L2R 7P7  
*Tel* 9056881125  
*Fax* 9056885725

**Submitted By**

DANIEL & PARTNERS LLP 39 Queen St. P.O. Box 24022 2008 07 07  
St. Catharines  
L2R 7P7  
*Tel* 9056881125  
*Fax* 9056885725

**Fees/Taxes/Payment**

*Statutory Registration Fee* \$60.00  
*Total Paid* \$60.00

**File Number**

*Applicant Client File Number :* 36765



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

August 8, 2018

Craig Larmour  
Directory of Community & Development Services  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Mr. Larmour:

**RE:                    Report MHC-18-039 (Notice of Intention to Designate – 144 John Street East, 176  
                                 John Street East, 200 John Street East & 588 Charlotte Street) – Randwood Estate**

E.R.A. Architects continues to follow the public process associated with the Zoning-Bylaw Amendment and Site Plan Approval for the Randwood estate on behalf of Save Our Randwood Estate (SORE). ERA has reviewed the Municipal Heritage Committee Report (MHC-18-039) and submits the following comments for your consideration:

- The report notes that “[i]t is anticipated that the key heritage attributes will be further refined once notices of intention to designate have been served, and prior to the adoption of the by-laws.” The Town simultaneously recommends “that permission be granted to demolish the buildings that have not been identified as key heritage attributes in the draft notices of intention to designate.” It is ERA’s opinion that demolition should not be permitted on 144 John Street East, 176 John Street East, 200 John Street East, or 588 Charlotte Street until the designation descriptions (including identification of heritage attributes) is finalized by the Town’s consultants.
- As the Town’s consultants refine the key heritage attributes, consideration should be given to the following:
  - 144 John Street
    - Interior elements (all floor levels) of the Devonian/Sheets House and the Coach House should be evaluated and identified as attributes where appropriate.
  - 176 John Street
    - Interior elements (all floor levels) of the main residence should be evaluated and identified as attributes where appropriate.
  - 200 John Street

- Confirm remnant stables have been evaluated and identified as an attribute if appropriate.
- Surviving Dunington-Grubb landscape elements should be itemized and detailed including elements surrounding the pool and identified as attributes where appropriate.
- The Calvin Rand House should be evaluated and identified as an attribute if appropriate. (Based on aerial surveys, the building footprint indicates original building elements are extant.)
- 588 Charlotte Street
  - Confirm the gazebo has been evaluated and identified as an attribute if appropriate.
  - Confirm the main house has been evaluated and identified as an attribute if appropriate. (Based on aerial surveys, the western wing appears to be the original stables building.)
- The Ministry of Tourism, Culture and Sport has recommended that there be no alterations or soil disturbances, including demolitions, until a Stage 2 Archaeological Assessment has identified any archaeological sites that may be present and a Stage 3 Assessment has defined the limits of any archaeological sites that are of further concern. No alterations of any kind should take place within the limits of archaeological sites that are of further concern. The Town should not permit demolition on 144 John Street East, 176 John Street East, 200 John Street East, or 588 Charlotte Street until Archaeological Assessments are complete.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Lord Mayor Darte  
Janice Johnston and Members of the Municipal Heritage Committee  
Jesse Auspitz  
Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

August 13, 2018

Members of Council  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Lord Mayor Darte and Members of Council:

**RE: Dear Lord Mayor Darte and Members of Council - Report CDS-18-047 (Municipal Heritage Committee Minutes – August 8, 2018) – Randwood Estate**

E.R.A. Architects continues to follow the public process associated with the Zoning-Bylaw Amendment and Site Plan Approval for the Randwood estate properties on behalf of Save Our Randwood Estate (SORE). Most recently, ERA provided a memo to the Municipal Heritage Committee (MHC) on August 8, 2018 (attached) and welcomes the opportunity to address Council on the recommendations contained in report CDS 18-047 before you tonight.

ERA applauds the MHC's continued stewardship of the Rand Estate properties and commitment to ensuring their cultural heritage value is conserved. The key MHC recommendations, with additional comments from ERA, are as follows:

- That Council authorize issuance of the Notices of Intention to Designate 144, 176 & 200 John Street East, and 588 Charlotte Street. We strongly support this recommendation.
- That the Town refuse demolition applications for 200 John Street East and 588 Charlotte Street until all Rand Estate properties have been properly assessed and the Town's heritage consultants have finalized the designation descriptions, including identified heritage attributes. We note that designation descriptions cannot be finalized until the Town's consultants are granted access to all Rand Estate properties, including all building interiors. The Town's review of a demolition application prior to the finalization of the designation descriptions would be inappropriate.
- That a revised HIA be submitted by the Applicant's heritage consultant following the finalized designation descriptions. The HIA should comprehensively address impacts to identified attributes and proposed mitigation strategies. We note that Ms. Wallace committed to a revised and updated HIA at the February 13, 2018 Municipal Heritage Committee Meeting.
- As noted in our August 8<sup>th</sup> memo, the Ministry of Tourism, Culture and Sport has recommended that there be no alterations or soil disturbances, including demolitions, until a

Stage 2 Archaeological Assessment has identified any archaeological sites that may be present and a Stage 3 Assessment has defined the limits of any archaeological sites that are of further concern. No alterations of any kind should take place within the limits of archaeological sites that are of further concern. The Town should not permit demolition on 144 John Street East, 176 John Street East, 200 John Street East, or 588 Charlotte Street until Archaeological Assessments are complete.

We reiterate our thanks to the Town for the continued opportunity to engage with this important file on behalf of SORE and its supporters.

Sincerely,

A handwritten signature in black ink, appearing to be 'Michael McClelland', written in a cursive style.

Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Janice Johnston and Members of the Municipal Heritage Committee  
Jesse Auspitz  
Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

August 8, 2018

Craig Larmour  
Directory of Community & Development Services  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Mr. Larmour:

**RE:                    Report MHC-18-039 (Notice of Intention to Designate – 144 John Street East, 176  
                          John Street East, 200 John Street East & 588 Charlotte Street) – Randwood Estate**

E.R.A. Architects continues to follow the public process associated with the Zoning-Bylaw Amendment and Site Plan Approval for the Randwood estate on behalf of Save Our Randwood Estate (SORE). ERA has reviewed the Municipal Heritage Committee Report (MHC-18-039) and submits the following comments for your consideration:

- The report notes that “[i]t is anticipated that the key heritage attributes will be further refined once notices of intention to designate have been served, and prior to the adoption of the by-laws.” The Town simultaneously recommends “that permission be granted to demolish the buildings that have not been identified as key heritage attributes in the draft notices of intention to designate.” It is ERA’s opinion that demolition should not be permitted on 144 John Street East, 176 John Street East, 200 John Street East, or 588 Charlotte Street until the designation descriptions (including identification of heritage attributes) is finalized by the Town’s consultants.
- As the Town’s consultants refine the key heritage attributes, consideration should be given to the following:
  - 144 John Street
    - Interior elements (all floor levels) of the Devonian/Sheets House and the Coach House should be evaluated and identified as attributes where appropriate.
  - 176 John Street
    - Interior elements (all floor levels) of the main residence should be evaluated and identified as attributes where appropriate.
  - 200 John Street

- Confirm remnant stables have been evaluated and identified as an attribute if appropriate.
- Surviving Dunington-Grubb landscape elements should be itemized and detailed including elements surrounding the pool and identified as attributes where appropriate.
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- 588 Charlotte Street
  - Confirm the gazebo has been evaluated and identified as an attribute if appropriate.
  - Confirm the main house has been evaluated and identified as an attribute if appropriate. (Based on aerial surveys, the western wing appears to be the original stables building.)
- The Ministry of Tourism, Culture and Sport has recommended that there be no alterations or soil disturbances, including demolitions, until a Stage 2 Archaeological Assessment has identified any archaeological sites that may be present and a Stage 3 Assessment has defined the limits of any archaeological sites that are of further concern. No alterations of any kind should take place within the limits of archaeological sites that are of further concern. The Town should not permit demolition on 144 John Street East, 176 John Street East, 200 John Street East, or 588 Charlotte Street until Archaeological Assessments are complete.

Sincerely,



Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:

Lord Mayor Darte  
Janice Johnston and Members of the Municipal Heritage Committee  
Jesse Auspitz  
Save Our Randwood Estate (SORE)



ERA Architects Inc.  
10 St. Mary Street, Suite 801  
Toronto, Canada  
M4Y 1P9

November 7, 2018

Craig Larmour  
Director of Community & Development Services  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road  
P.O. Box 100, Virgil, ON L0S 1T0

Dear Mr. Larmour:

**RE:**

**Alterations and Removal of Landscape Elements at Randwood Estate (144 John St E, 176 John St E, 200 John St E & 588 Charlotte St) Without Municipal Review**

It has been brought to ERA's attention that the owner of the Randwood Estate properties is in the process of undertaking significant alterations to landscape elements and has in some areas completely removed mature trees and other vegetation, including a boxwood hedge on 588 Charlotte.

As you know, all four Rand Estate properties are subject to Notices of Intention to Designate issued by the Town August 16<sup>th</sup>, 2018. As such, they are therefore protected under the Ontario Heritage Act. As a result, it is our understanding that before any work occurs on these properties, the owner is required to submit a heritage permit application to the Town for review.

In its review of a permit application, the Town would consider impacts to the property's heritage attributes (note that the removal of one attribute can impact others) as well as relevant policies and guidelines related to the protection of the site's cultural heritage resources. This would include the Town's Official Plan (Policy 10.3.6 (10)) which states:

*The boxwood hedge within the buffer area adjacent to the western property line shall remain and be properly protected and preserved to insure its continued growth. At site plan stage measures to mitigate construction impacts to protect the boxwood hedge will be required.*

While this policy may pertain to the boxwood hedge on one of the other Randwood properties, the requirement to offer the Town the opportunity to consider possible heritage impacts of any work proposed on any of the four properties prior to that work being undertaken is a core principle of the Act.

We would appreciate hearing back from you on this matter at your earliest convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael McClelland', written over a white background.

Michael McClelland, Principal  
E.R.A. Architects Inc.

Copy:  
Save Our Randwood Estate (SORE)  
Holly Dowd  
Mayor-Elect Disero



## Ecoplans and Nexus Heritage Impact Assessment (2009)



# *Randwood:* The Romance Property

Draft Heritage Impact Assessment Report

June 2009

## Executive Summary

Ecoplans Limited in conjunction with Nexus Architects were retained by the proponents of The Romance Inn Inc. in spring 2009 to complete a heritage impact assessment (HIA) for the subject property, also known as the Randwood Estate. A proposal has been made to develop portions of the property, which is listed on the Niagara-on-the-Lake heritage registry, to create a hotel and conference centre on the property, with the intention that the estate be converted into a retreat-like facility.

An inventory and analysis of the property was conducted as well as historical research to better ascertain the heritage elements of the site and to determine their connection and significance with regards to events and movements that influenced the local and national history. This information was then compared with the proposed development and an assessment of the impacts to the existing heritage resources conducted.

The majority of the proposed development is sensitive to the context and layout of the subject property. The development proposal avoids the demolition of any of the significant heritage assets on the site. Every effort has been made to ensure retention, conservation and adaptive re-use of significant heritage resources in situ, particularly where significant contextual features remain. The proposed new construction is located either in discrete areas that are behind the existing buildings.

The only significant proposed alteration is the re-opening of the entry, associated with the events pavilion, along John Street. The introduction of a competing view will distract from the existing vista of the house from the street and will lessen the sense of mystery and romance that is so integral to the spirit of place which imbues the property; the re-opening of this entry will also lessen the character of the existing streetscape. It has been recommended that this entry is not opened and the access to the events pavilion with which it is associated, be combined with the existing entry to the Devonian house. The reinforcement of landscaped buffers are also recommended along the pavilion to soften and screen views from the central axis to the pavilion.

The proposed development will provide a viable new use for an existing heritage asset and, with the recommendations provided within this report, will preserve and restore this asset for future appreciation.

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## **1.0 Introduction**

Ecoplans Limited in conjunction with Nexus Architects were retained in spring 2009 by the proponents The Romance Inn Inc., to complete a heritage impact assessment (HIA) for the Romance property, also known as the Randwood Estate. A proposal has been made that portions of the site be redeveloped to create a hotel and conference centre on the property, with the intention that the Randwood Estate be converted into a retreat-like facility. The property is currently listed on the Niagara-on-the-Lake (NOTL) heritage registry and contains buildings dating from the early nineteenth century and gardens completed by Canada's first landscape architects, H.B. and L.A. Dunnington-Grubb.

## **2.0 Methodology**

Ecoplans Limited and Nexus Architects have completed an on-site inventory and analysis of the heritage resources that exist on the properties at 144 and 176 John Street, Niagara-on-the-Lake. Research regarding these resources and the history of the property has also been completed to further our understanding and provide better rationale regarding the heritage significance of both the built form and the cultural heritage landscape that exists on the site.

A review of the proposed development was conducted and the impacts to the heritage resources measured. Where the proposed development may impact the existing features of heritage merit, recommendations regarding avoidance, relocation of proposed elements or mitigation measures to lessen impacts have been proposed to ensure that alterations to the site do not diminish the heritage significance of the property, and are in keeping with its heritage resources.

## **3.0 Historical Research, Site Analysis and Evaluation**

### **3.1 Site Description, Location, Physical Context of the Site:**

The subject property (144 and 176 John Street) lies near the south eastern boundary of the Niagara Old Town within the Town of Niagara-on-the-Lake. The 13 acre property contains a number of buildings, including the main house, known as Randwood, as well as two smaller houses, known as the Devonian House and the Coach House. The northern boundary of the property fronts onto John Street, while Charlotte Street lines the western edge of the property. On the north side of John Street lies The Commons, a vast open parkland space which connects the Butler's Barracks and Fort George, two national historic sites. To the south west, a residential subdivision exists, with the lots of the single family homes backing onto the southern boundary of the estate. To the east of the property lies Brunswick Place or Pinehurst, a house related to Randwood as it was built during the same period, after the land was subdivided by William Dickson and granted to his sons. While the two properties are historically related, they are physically separated by a thick coniferous hedge which impedes views between each property from ground level.

While the property lies outside the national heritage district of Niagara-on-the-Lake, Randwood has been listed on the Town's heritage registry (see Appendix A for NOTL heritage properties mapping).

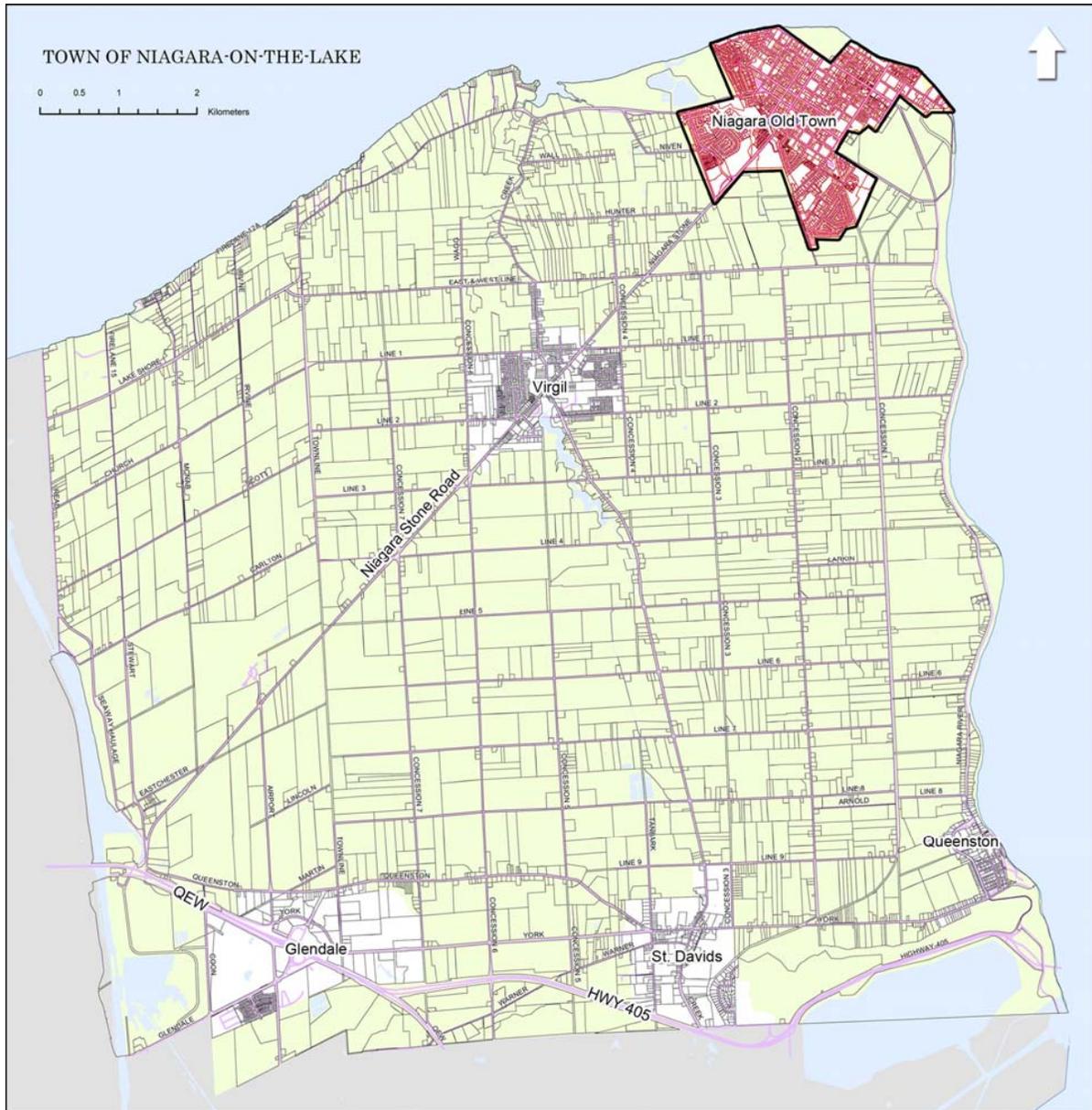


Figure 1. Niagara Old Town, Niagara-on-the-Lake Map

The house and the property (originally part of a 160 acre crown grant made to Peter Russell in 1796), has been associated with a number of significant figures in Canadian history, including Russell who was Receiver General from 1792-1796 and the Honorable William Dickson who was active in the Provincial government and one of its early lawyers (The Niagara Institute, 1989); Dickson subdivided the land between his two sons, one of which constructed the home which is now know as Randwood; The property changed hands two more times before being bought by it's namesake in 1910. George F. Rand was a prominent American banker and philanthropist and purchased what was then known as Woodlawn as a summer home for his family. It was during the Rand family's occupation of the property that the most significant changes to the estate were made. Starting from the year of their purchase, a number of alterations to the house and property were made throughout the decades.

The property is relatively flat, with only a slight change in elevation between the house and the main gate, where the land dips towards the One Mile Creek. The creek runs across three quarters of the property from east to west before sharply turning and running north.



Figure 2. Location of 144 & 176 John Street East

### 3.2 Built Heritage

The Cultural Heritage Value of the Randwood Property is the compilation of the history of the buildings and the landscape from before the initial settlement to the present day. The landscape assets will be discussed in Section 3.3, Cultural Heritage Landscapes. This section discusses the heritage attributes of the built elements in the overall landscape, including the main house, Devonian House, the Coach House, and the brick pavilion.

#### 3.2.1 The Main House (Randwood, Woodlawn) 176 John Street

The main house was initially constructed about 1825 by Robert Dickson, who was given the property by his father William Dickson in 1821. The original layout of the main façade of the house is still evident in the symmetric placement of the entrance door and large side windows of the ground floor and in the three aligned window openings on the second floor. The original stone quoins in the brickwork at the corners of the house are also still evident, although the original delicate porch enclosure around the entrance has been replaced by the whole front verandah. When the property was acquired by General Henry Lansing in 1873, the third floor mansard roof and the enclosed tower was added. In 1905, George Rand purchased the property and made further changes to the main house including the construction of the east sun

room, the opening of the enclosed tower, and the reconstruction of the surrounding verandah with square brick piers rather than the delicately turned wood columns.

The original, two storey house built about 1825 would have been a good example of Georgian symmetrical geometry, centre hall plan with principal rooms either side represented by large, rectangular windows on the exterior. Subsequent owners added to that elegant structure with early additions in the Second Empire style to provide the mansard roof and later additions in the Victorian style to complete the verandahs and glazed conservatory. All of these additions and renovations modified the appearance of the principal elevation facing north to John Street and visible from the main gates and landscaped approach. Although the resulting image is very familiar in the neighbourhood, it is neither a pure architectural style, nor particularly clear in its stylistic development.



*Existing view of south side of Randwood.*

The changes to the other facades of the main house were undertaken as necessary additions for the utility of the function of the building resulting in exterior and interior volumes and geometry that satisfied the changing demands on the building without providing a unified architectural aesthetic. Some care has been extended in the selection of materials and details for the exterior additions that are complementary to previous constructions. The exterior brick, for example, has been well colour-matched and sized to the original brick, even if the coursing does not always align.

The additions to the rear of the original house designed in 1997 by Chapman Murray Architects to convert the facility into a residential training centre made a significant change to the appearance of the exterior of the south side and the east and west elevations. While reasonable care was exercised to employ good design principles and careful material selection, the new additions featured the light appearance of large glazed and painted wood panels supported by square brick piers, similar to the verandah and conservatory construction of the north and east elevations. The solid masonry appearance of the original Georgian house with punched windows was now totally encapsulated and concealed behind subsequent additions. The resulting exterior of Randwood is the recorded history of multiple changes in function and style over nearly 185 years

The interior of the house preserves some of the original details of trim and carpentry in the main hall and the adjacent principal rooms, but has been modified and updated for other interior spaces.

### 3.2.2 Devonian House (Sheets House, Dickson House) 144 John Street



*The Devonian House*

Devonian House was constructed in 1921 by George Rand as a wedding present to his daughter, Evelyn and her husband Lt. Henry Bennett Sheets. The original two and one half storey building was constructed in a symmetrical Colonial Revival style, clad in wood clapboard with a full front verandah. At some point subsequent to the original construction, a wing on the north face was either added or substantially modified and clad in a narrower clapboard. This may have been the

original kitchen that was enlarged shortly after the original construction. Again in 1993, Bernard Rasch Architect prepared plans for the renovations to the kitchen wing and third floor sleeping space that changed some of the window designs and exterior appearance of the house, but maintained the general architectural integrity of the original house design.

The construction of Devonian House is on the site of the former Rowanwood, or Dickson-Lewis House, torn down and replaced by the Sheets house (Ormsby, 1997).

The house was a classic example of resort style buildings dating from the early 1920's that would have been popular in summer places like Niagara-on-the-Lake at that time. The house provided a home for the Sheets while they were in Niagara-on-the-Lake. In 1971 when the Niagara Institute was formed by Calvin Rand, this property, including Devonian House, was leased to the Institute for seminars and conferences three quarters of the year, returning to the Rand's use during the summer.

### 3.2.3 The Coach House



*The Coach House*

The Coach House is an attractive, symmetrical five bay building that retains much of its original design character. The painted stucco on the brick exterior walls has been well maintained and provides elegance to this simple geometric building mass. The two end gables are distinctively decorated with pendentive verge board designs, flared chimney caps, and skillfully crafted copper rain water leaders and leaderheads. The door and window openings are surmounted by elliptical arches that provide a unified appearance

to all elevations.

The Coach House is poorly documented for its early history, but is believed to have been “a legacy of the early days of Dickson occupancy” (Ormsby, 1997).

In 2001, Chapman Murray Architects prepared a design for the alterations to the coach House, including the raising of a portion of the roof to provide new windows and access to the attic area. The construction was completed with skillful workmanship, and the finished design is a testament to the ability to make substantive changes to heritage buildings while preserving the essential heritage asset and improving the base building technology and longevity.

### 3.2.4 *The Gazebo*



*The Gazebo*

The Gazebo, located in the landscaped grounds nearest to the John Street garden wall, is the most recent free-standing new building on the site. Designed in 1996 by Chapman Murray Architects, it is an elegant, square garden shelter supporting a copper roof on four corner piers constructed of brick. Each elevation is similar to the others and uses details and materials reminiscent of Randwood. The space between the brick piers is enclosed with a classic cast stone balustrade, and the soffit of the roof projection is decorated with traditional eave brackets. While providing shelter from rain and sun, the construction is quite transparent to views across the grounds and confirms that sensitive designs can be well accommodated in sensitive locations.

DRAFT

### 3.3 Cultural Heritage Landscapes

Landscapes are a living entity and by their very nature are in a continuous cycle of growth, decline and regeneration. Studying the landscape in relation to modifications made by humans over the last century reveals both the change and continuity of the space and provides us with the narrative that connects us to the place.

Like the Randwood house, the gardens of the property have seen many changes and enhancements over the last century, most notably under the ownership of the Rand family from 1910 until 1976. It was during the early days of the Rand tenure that the most notable changes to the grounds were made, many of which still exist today.

#### 3.3.1 The Central Axis

Presently, the landscape that encompasses the Randwood Estate is a sprawling walled garden with meandering pathways and an extensive canopy of mature trees. The high stone and brick wall that lines John Street conceals the garden from the roadway, providing a sense of mystery and heightened expectation for those traveling along John Street. While a constricted view of the garden is provided through an existing wooden gate near the west end of the wall, it is at the main drive where a passer-by may catch a glimpse of the Randwood Estate.

Framed by two pairs of square, red brick pillars, the entry, which is set back from the wall, provides a grand sense of entry to the property. The wrought iron gates stand open to frame the vista beyond; a long, cut-stone path provides the central axis of the view and carries the eye across the grounds to the house. Bordered by boxwood (*Buxus sp.*) hedges, the pathway is broken by a series of stairs, descending to a central pond before rising again to meet the house. Softened by the silhouettes of trees which sit beyond the pathway, the house rests atop a rise in the landscape, and provides a picturesque terminus to this long view.

The oval shaped pond situated nearer to the house provides a physical break in the linear axis of the path, but does not diminish the visual axis which runs between the residence and the gate. Edged with a natural stone rim, the pond offers no fountains or jets, but a simple stone sculpture which calmly occupies the centre of this reflecting pool. The small sculpture, not more than a meter high, represents a young girl sitting casually atop a stone pillar; she is facing the house, but looking to its side with a look of quiet contemplation.



*View of the Central Axis from the Main Entry*



*The Main Gateway*

Both the pathway and the boxwood hedge wrap around the pond's edge to meet two small stone bridges, one on each side of the pond. The stone bridges provide access over the small creek which winds its way across the width of the property. The creek appears to flow into and out of the pond (though it has actually been diverted below the pond) and provides a perpendicular axis to the entry pathway. The symmetry of the pond, path and hedge continue beyond the bridges where the linear pathway begins again and a series of steps lead to the main entry of the house.

It is this main axis and this long view to the house that is perhaps the most significant feature of this landscape. An integral part of the streetscape, this vista into the estate is perhaps the best known feature of Randwood, and represents its most recognizable characteristic.. An additional distinction to this portion of the property is that it was designed by the premier landscape architectural firm of the time, H.B. & L.A. Dunington-Grubb.

Documents within the Dunington-Grubb and Stensson Collection at the University of Guelph (U of G) Library Archives show original drawings dating from 1928-1940 (although many of the drawings are without dates). The collection ranges from sketches to blueprints of details within the property including details of piers, stonework, iron grille, tea pavilion, swimming pool and pergola, the sunken garden, and the bridges about the pond. Many of these sketches illustrate the features along the central axis were designed by H.B. & L.A. Dunington-Grubb Landscape Architects.

Sketches of the main gateway illustrate an elaborately decorative wrought iron arch to be placed over the gates. While it is unclear as to whether this arch was ever fabricated, the scrolling and design of the adjacent fencing on the sketch is very similar in style to that on the existing gate. A second sketch illustrating an alternate version of the arch contains a note dated August 21, 1919. The note expresses that the design of the arch is, "Not satisfactory to Rand. Please conform to original sketch".



*1924 Photograph of Randwood*

The existing bridges and stairs along the pathway are representative of the blue prints and sketches found within the archives. The drawings for these elements are not dated, but it can be assumed that they were created prior to 1924, as a photograph from this year, taken of the front of the house shows the bridges, stairs and pond, as well as the associated planting. The May 22, 1919 edition of 'The Advance' indicates that Mr. Rand ordered 10 cars of stone for making drives through his

property, while a July 3<sup>rd</sup> article published that same year stated that the Rands were building a lily pond and two cottages for Estate employees (The Niagara Institute, 1989). In conjunction with the sketch of the arch dated August 21, 1919, it can perhaps be deduced that the design and construction of the main axis was carried out throughout 1919.



*The Pond Sculpture*

The origin of the sculpture is not indicated within any of the sketches at the U of G, however the photograph dated 1924, shows the same sculpture in the pond. The 1919 rendering of the front of the property shows a much larger pond with a tiered fountain at its centre (Sheridan Archives). It is known that the Dunington-Grubb's commissioned and actively promoted many artistic and sculptural works in their designs. Artists J.E.H. MacDonald and Arthur Lismer, and sculptors Fritz Winkler, Francis Loring, and Florence Wyle all produced works which were commissioned by the firm (Oshawa Municipal Heritage Committee, 2009).

For the next twenty years at least, Dunington-Grubb's landscape architectural services were retained by the family. A small sketch dated from April 24, 1940 illustrates a re-planting plan for the southern end of the sunken garden (between the pond and the house). Another plan dated April 30<sup>th</sup> of the same year, provides a plan for "weepers" in the sunken garden. This plan shows the extents of the central access pathway; it also indicates that rose beds were planted along the south edge of the path adjacent to the pool.

### 3.3.2 *The Northern Lawn*



*An Area of the Northern Lawn*

Beyond the long entry way, with the linear structure and sculptural elements, the formality of the garden relaxes into softly curving drives and meandering pathways. The creek that flows "through" the central pond is One Mile Creek and winds through the Town of Niagara-on-the-Lake where it outlets into Lake Ontario. Within the subject property, the creek extends beyond the eastern perimeter of the property and flows westerly across the whole of the property. A number of perennials and bulbs, including Iris, Marsh Mallow, and Daffodil dot the edges of the creek providing bands of colour along the waters edge.

Crossing over the creek bed, the curvilinear drives sweep towards the main residence before arcing towards the secondary buildings, including the Devonian house. The asphalt drives, edged with a concrete band, have an average width of 4.5m: the drive to the Devonian house from the secondary gate entrance on John Street is approximately 6.85m in width. The drive is continuous over the creek crossings, but decorative low wooden rails have been added to mark the crossings. The simple criss-cross style of the railings reflect the detailing along the second story porch of the Devonian house. There are a total of three 'bridges' that cross the creek. As noted in Section 3.3.1, the May 22, 1919 edition of 'The Advance' indicated that Mr. Rand ordered 10 cars of stone for making drives through his property. It is also noted in Bernat's notes that Rand built two cottages for his employees in this same year. It is likely that this

serpentine network of drives was first established by Rand and has been resurfaced and enhanced over the subsequent decades.

To the west of the pond and main drive, the square gazebo as described in Section 3.2.4 has been placed within a clearing in the treed lawn. West of the gazebo, a dozen Norway Spruce (*Picea abies*) have been planted in a row, running north-south. The trees are mature specimens, and the line in which they have been placed in, noticeably contrasts with the organic layout of the rest of the lawn.

### 3.3.3 *The Western Lawn*

The west portion of the property lies relatively open and unfettered with built elements. The only structures that exist in this area are the ruins of an old fire place or grill, which is located towards the southern property line, and a small copper sculpture (approximately 1m in height and less in breadth) of a globe. The sculpture has been placed on a gentle rise in the land and sits on an eastern bank of the creek.

A number of trees are dotted and grouped throughout this area; there appears to be no particular pattern with regards to their placement or species. In this corner, the creek runs north and out past the stone wall that lines John Street. A dry-laid field stone wall stretches along the western perimeter of the property. The narrow flags have been stacked to create a relatively linear pattern along the wall. Larger field stones have been placed intermittently within the wall, at varying heights. A continuous, pitched concrete coping sits atop the wall. The wall, which borders Charlotte Street, rises and falls with the pitch of the land. Connecting with the stone and brick wall along John, the two structures completely surround the property, concealing it from the street. Both the field stone wall and the more formal wall on John were completed under the direction of George Rand II (Masson).



*The south west limit of the property*



*The Charlotte Street Wall*

### 3.3.4 *The Devonian House Gardens*

The gardens surrounding the Devonian house consist of evergreen foundation plantings along the perimeter of the house. The edges of the drives approaching the house are also quite extensively landscaped with perennial and shrub borders. It is in the area of the Devonian house where a number of exquisite specimens of Flowering Dogwood (*Cornus florida*) exist.

### 3.3.5 *The Coach House Gardens*

The coach house and surrounding gardens occupy the south west corner of the property. The land south of the house has been extensively paved and a large parking lot currently exists in this area. Screened to the south and west by hedging and berming, the parking lot lies open to

the adjacent tennis court. The gardens around the house consist of overgrown shrub and perennial borders. A number of mature trees exist within this garden and the lovely Shagbark Hickory (*Carya ovata*) noted in Morley's Analysis of Existing Trees (2007) occurs in close proximity to the coach house.

### 3.3.6 The Tennis Court

A tennis court currently exists within the back reaches of the property, centrally located along the southern perimeter. It is not apparent if the court, which suffers from a lack of use, is the same or is in the same location as the clay court installed in the 1930's by George Rand II (The Niagara Institute, 1989).

### 3.3.7 The Central Lawn

The central lawn, bordered by drives and walkways is an open area free from trees and empty of structures and ornamentation. The vegetation in this area has been kept to the perimeter of the space, with trees lining the edges of the drives and paths. A large planting bed sits along the west side of the lawn; a half circle shape, the bed was free from planting at the time of the site visit and is perhaps used as a display for annual plantings. No evidence was found which indicated that this bed was related to the Dunnington-Grubb design.

### 3.3.8 The South-Eastern Lawn



*The circular wood gazebo*

The space behind Randwood in the south east corner of the property also lies relatively open. Dotted with a few mature trees, the space between the tennis court and eastern property line is a grassed area, with a Yew (*Taxus sp.*) hedge delineating the estate boundary to the south and a mix of coniferous plantings delineating the eastern boundary. A circular gazebo structure sits to the south of the house; the cedar shingle roof slopes convexly towards a copper cap on its point. The wooden four wooden pillars supporting the roof are square and evenly spaced around the paved base. The supports are subtly carved and gently arc from the middle of the pillars to the roof.

### 3.3.9 The Randwood Gardens

It is clear that the foundation plantings and gardens directly surrounding Randwood have been altered over the years. The addition to the back of the house removed the gardens associated with the house during the Rand era of the property. Currently the courtyard is a faded red coloured concrete with three trees placed in individual planting pits through the center. Curved, tiered planting beds extend from the eastern and western wing. The plantings in these beds and those bordering the house include Yews, Japanese Maple (*Acer japonica*), Hydrangea and a variety of perennials.

### 3.3.10 Additional Garden Elements

The blueprints of the swimming pool are dated April 24, 1928. Surrounded by quadrants of lawn, the plan for the pool takes on the same formality of the front entry, with two intersecting axes. A swimming pool still exists in the same location as that designed by the Dunnington-Grubbs, however the pool is beyond the property boundary of the proposed development and is on the property of Calvin Rand. A tea house is shown on the blue print for the swimming pool,

and sketches of the front façade and a plan view also exist in the U of G collection; a photograph of the pool and tea house dated 1925 is part of the Sheridan Nursery archive collection.

## 4.0 Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource

### 4.1 Built Heritage

The property and its buildings are associated with several significant historical persons, events and movements that influenced the local and national history. The property was originally purchased by William Dickson, prominent merchant, lawyer and MLA in 1798, from the Hon. Peter Russell, successor to John Graves Simcoe, administrator of Upper Canada. The existing house, Randwood, was first constructed in about 1825 by William Dickson's oldest son, Robert, who called the estate Woodlawn.

#### The John St Residences

*On the south side of John St., east of Charlotte, are three fine houses once owned by families from Buffalo. All three are built on land originally owned by Hon. Peter Russell, Upper Canada's first Receiver General and, after Lieutenant Governor Simcoe left North America, the province's Administrator (1796 - 99).*

*In the late summer of 1798, Russell sold his 160 acres in Niagara to Hon. William Dickson, a cousin of Hon Robert Hamilton. Dickson had come to Canada from Scotland in 1784 and, two years later had set up business as a merchant in Niagara. Hard working, thrifty and fiercely loyal to the Crown, Dickson became noted as a lawyer, M.P.P., founder of the town of Galt, and as the survivor of one of Upper Canada's earliest duels. Provoked by fellow-lawyer Weeke's abusive remarks about Lieutenant Governor Simcoe, in 1806, Dickson agreed to "meet" him across the river (duelling being illegal in Upper Canada) and emerged the victor.*

*In April 1821 Hon William gave 10 acres 2 rods and 16 perches of the land purchased from Russell to his son Robert and 9 acres 3 rods and 19 perches to his son William Junior. One of the three formerly American-owned houses stands on the latter block and two on the former. (Ormsby, 1997).*

Randwood, and its neighbouring estates, represent the development of Niagara-on-the-Lake as a summer holiday destination for wealthy Canadian and American families who were the leaders in the military, business, political and social elite. The estate records the extravagance of style and grand scale that was available to those leaders, and the welcome afforded to American visitors to Canada throughout the era. The architectural style of the building was upgraded in the same fashion that new owners would change the furnishings on the property in accordance with prosperity and stylistic preferences. At several key dates, Randwood, the grounds, and its secondary buildings were radically changed to suit the requirements of the owners. Generally, those changes were effected with good taste and discretion as viewed from the main entrance gates to the site.

### 4.2 Cultural Heritage Landscapes

It is the ephemeral qualities of a garden that make them so vivid with regards to their sense of place and the mark which they may leave in our memory. However, it is often this ephemeral nature that can make them seem fleeting, with the aspects of seasons and age constantly creating change in the landscape. It is a testament to the landscape design of the Randwood estate that its gardens have so effortlessly endured the passing of time and their sense of

romance and fantasy have only been heightened as so very few examples of Beaux-Arts landscape architecture remain in Canada.

#### 4.2.1 *Dunington-Grubb Landscape Architects*

The success of the Randwood gardens as they are known today can be attributed to the husband and wife team of Howard Burlingham (1881-1965) and Lorrie Alfreda Dunington-Grubb nee Dunington (1877-1945). Both Howard and Lorrie were formally trained in landscape design; he with a Bachelor of science in Agricultural from Cornell University and subsequent apprenticeship under the English landscape architect, Thomas Mawson and she with a diploma from the Swanley Horticultural College in England and her own subsequent practice in London. Lorrie Alfreda was the first woman to practice as a professional landscape architect in England and upon her emigration, in Canada as well (The Canadian Encyclopedia, 2009).

The couple emigrated to Canada in 1911 and set up their landscape architectural practice in Toronto the same year. In a short period of time, their practice became widely successful. They completed a number of residential designs for large estates in the greater Toronto area and quickly became the premier landscape architect for the design of many public projects including Oakes Garden Theatre in Niagara Falls, Gage Park and the McMaster University Entrance Park in Hamilton, the Workmen's Compensation Board grounds and the central boulevard of University Avenue in Toronto.

In addition to their design work the couple founded Sheridan Nurseries in 1914 to supplement their own need for the ornamental plant material they employed in their designs.

Dunington-Grubb Landscape Architects and later Dunington-Grubb and Stensson (Janina Stensson a premier landscape architect in her own right, joined the firm in 1934) (Dunington-Grubb & Stensson Collection, 2009) were the foremost Canadian landscape architects of the time. Although many of their Canadian contemporaries in art and design were purveyors of the modern movement, the Dunington-Grubbs designed in the Beaux-Arts tradition, “ emphasizing architectural influence on the landscape, to provide a controlled, ornamental backdrop to human use.” (The Canadian Encyclopedia, 2009) They believed that, “Once in the garden, we have left the practical world of utility and entered the world of fantasy, of make-believe, where decorative nature under the control of art provides both pleasure and rest ” (Canadian Historical Horticultural Studies, 1990).

While the style of their garden design was not innovative, it can be said that the Dunington-Grubbs were largely responsible for introducing this style of garden design to the Canadian landscape. It was also their role in the founding of the Canadian Society of Landscape Architects and their avocation of civic planning and the City Beautiful movement in Canada that truly made them progressive thinkers in this nation’s early 20<sup>th</sup> century landscape.

#### 4.2.2 *Randwood and the Dunington-Grubbs*

The central axis of the garden is the most important feature of the landscape; the view from the gate is almost a personification of Randwood, and is a recognizable image of the property within the community of Niagara-on-the-Lake. The design of the axis was indubitably designed by the Dunington-Grubb firm and remains intact and consistent with image captured of the front of the garden circa 1924 and their design intent, as illustrated by the rendering of the property dated 1919. While the living landscape material has been altered, the intent of the design still remains and the material used on the bridges, stairs and pond have are untouched in their original form; only new paving has been added to the pathway leading to the house.

The long view to the house along the central line of site also exemplifies the style in which the Dunington-Grubbs designed. Principles of Beaux-Arts garden design dictated that an outdoor space should be clear and orderly and should exist along a main sight line (the pathway) terminating with focal point or in a beautiful view (the house). Strong vertical plains such as evergreens or stone walls were also utilized to provide definition and structure to a space;

vertical plans along the axis of Randwood are provided in the stratification of the path through the use of stairs, and the central pond which provided a horizontal element to the middle distance of the view. The element of "tapis verts", or great expanses of lawn is also evident at Randwood, particularly on the west lawn.

Subsequently, the significance of the Randwood landscape exists not only in the design of the space, the exemplification of the Beaux-Arts style, and the "make-believe" world that it belongs to, it also exists within the larger context of Canadian garden design and the birth of the profession of landscape architecture.

## **5.0 Description of Proposed Development or Site Alteration**

### **5.1 Rationale and Purpose of the Proposed Development**

The proposed development is to permit the site to be used as a year round spa and learning destination, providing high quality residential hotel type accommodation in approximately 100 suites, and providing day-time amenities to other visitors. The site has long been a destination for individuals and their families and friends seeking a restful and relaxing environment. More recently the site has attempted to provide facilities for a broader range of the public and an economic model based on a learning retreat. The current proposal includes those historic trends in the area and on this site to provide a welcome retreat for visitors planning to stay for a few hours or a few days to engage in wellness and learning processes, but combined with high quality resort accommodation.

The existing site and buildings already provide most of the program and activity space. Some additional studio space and administration accommodation is proposed to be built at the rear of the site. The major intervention required to make this work is the additional provision of the overnight accommodation for both guests and their cars in a fashion that capitalizes on the heritage quality of the estate without diminishing that quality. The proposal as illustrated on the Proposed Master Plan Concept by Allen & Chui Architects dated 28 January 2009, shows the new construction located to the rear of the existing building and within a band across the south side of the property. The new hotel accommodation (J) would be linked to the rear of Randwood, but also separated from it by a landscaped courtyard (P). The new studio and administration space (D&F) would be located behind and separate from the existing Coach House (C), and atop an underground parking garage structure to store and conceal visitors' cars. A new Special Events Pavilion (A) is also proposed centrally located within the landscaped grounds to be similar in intent to the existing Gazebo (O), but to accommodate larger groups of people enjoying the use of the grounds.

### **5.2 Conformance with Planning Policies and Objectives of Niagara-on-the-Lake**

The proposed development is intended to provide a viable new use for an existing heritage asset, while preserving and restoring that asset for future appreciation. Niagara-on-the-Lake subscribes to the Eight Guiding Principles in the Conservation of Built Heritage Properties as developed by the Ontario Ministry of Culture. The proposed development on this site is in compliance with those principles as follows:

#### **5.2.1 *Respect for Documentary Evidence***

All conservation of the existing heritage assets will be based on the documentary evidence and historic photographs of the original construction of those assets and of subsequent heritage accretions and changes. The intent of the proposed development is to restore and feature as much of the history of this site and buildings as possible for the purpose of the heritage appeal. The construction for the new facilities will be designed to be complementary to the original buildings and site without attempting to mimic those buildings. Fortunately, a great amount of research has been conducted to guide the appropriate conservation of this site.

### *5.2.2 Respect for the Original Location*

Context and siting are integral components of a building or structure. The existing buildings will be preserved in situ without any relocations. The new construction is located at a respectful distance and behind the original buildings to preserve their prominence on the site. New buildings will not obstruct existing sight lines or views.

### *5.2.3 Respect for Historical Material*

Where necessary, the original buildings will be repaired and conserved with traditional materials and methods of construction. New construction will be designed to use complimentary and traditional materials without mimicking the original construction.

### *5.2.4 Respect for Original Fabric*

Where original materials are still evident in the construction of the original buildings, those materials will be preserved and repaired with similar materials.

### *5.2.5 Respect for the Buildings History*

The complex history of Randwood will be respected in subsequent restorations and new construction. The history of this site bears witness to the multiple phases of construction and reconstruction. The continuation of that process by the deft addition of discrete buildings is truly within the heritage pattern of this site.

### *5.2.6 Reversibility*

Randwood is very much a site of growth and change, both its buildings and the cultural landscape. Certain landscape features have been visible for several decades and have become the current public image of the site, such as the wall, the view of Randwood's north façade from the main entrance gate and the gardens which lead to the estate. However, even these iconic features have been subject to significant changes through the last 185 years, including the including the closure of a third entryway in the wall along John Street. The intent of new construction will be to avoid irreversible changes to the exterior or to the structure of the original buildings. The new construction will also avoid constructed / built changes to the central axis and does not impede on significant views to and from the garden.

### *5.2.7 Legibility*

All new construction will be designed to be independently identifiable from the original construction. The new construction will be kept separate from the original buildings in most situations.

### *5.2.8 Maintenance*

The proposed development ensures a viable use for the existing estate and the ability to maintain the buildings and the site in superior repair continually.

## **6.0 Measurement of Development or Site Alteration Impact**

### **6.1 Physical and Structural Analysis of Heritage Resources**

#### *6.1.1 Existing Buildings*

The existing built form can be conserved intact. The existing buildings are basically sound for structure and for building envelope, and have been well maintained. It is not the intent of this development to restore any of the existing buildings to an earlier format or architectural style.

### 6.1.2 Existing Landscape Elements

The existing features within the landscape of the Randwood estate are, for the most part, in excellent condition. The constructed elements of the central axis are in good condition and shall be conserved based on the proposed Master Site Plan Concept (Allen + Chui Architects Inc., 2009). Their good condition does not merit the need for any rehabilitation or restoration to the features. The likely increase of pedestrian use of this area does not threaten the integrity of this landscape.

The north wall which fronts John Street is also in good condition. According to the Master Site Plan Concept, the wall will be impacted by the new development. A reopening of a gateway is proposed between the two existing gateways. The new entry, which appears to be wider than the two existing, is intended as an access for horse and carriages. The cement paving in this location is of a different colour and character than that on either side, suggesting that it was sealed off at a later date. Aerial photography reveals a strong linear connection to the property to the south east, now with access from Charlotte Street. As the existing wall appears to be in good condition, the reopening of this gateway will probably not be physically detrimental to the structure of the wall. The proposed gateway does, however, diminish the visual integrity of the property, which is outlined in Section 6.2.

The Master Site Plan Concept does not indicate on the drawings that accommodation for the relocation of the wood gazebo will be made, nor is it shown in its existing location south of the main house. As it is located in close proximity to the proposed hotel and conference facility, it is expected that it will require removal. It is likely that the gazebo can be dismantled and relocated. Its current location does not present any contextual significance, nor do any historical documents make reference to its existence or placement.

The existing tennis court will be removed to make way for a small parking lot of 19 spaces. The current condition of the court is poor. It is noted in the Niagara Institute document that a clay court was constructed in the 1930's. The current surfacing of the court is artificial turf, indicating that it has been resurfaced at least once, and that the original clay remains no longer.

The Analysis of Existing Trees Affected by Proposed Development of the Site completed by John A. Morley and Associates (November 2007) provides an inventory, analysis, and recommendations of trees to be affected by the proposed development of the property.

## 6.2 Rational of Impacts to Heritage Resources

With regards to the landscape, the majority of the proposed site features do not physically impact the most integral components that make the landscape significant. Elements that will be removed or altered due to the proposed development include the tennis court, and the small wood gazebo south of the main house, the John Street wall, and the central lawn. As noted in Section 6.1.2, the existing landscape elements maintain good physical integrity which will not be compromised in the construction of the proposed development.

As the majority of the proposed alterations have been kept to the back of the property they do not impede upon existing views and vistas from the street, nor do they affect those within the property. The proposed special events pavilion, which is centrally located on the property, will, however, impact the heritage character of the landscape.

The current proposal includes the re-opening of a gate in the middle position of the garden wall facing John Street and the re-creation of a sightline and roadway from that gate to a new Special Events Pavilion in the centre of the landscaped garden. The view and road would coincide with an existing allée of trees providing a traditional alignment and focus for the new feature. This gate and view would be a significant change from the historic pattern developed over the last several decades, but would re-establish an earlier feature of this site.

## 7.0 Consideration of Alternatives, Mitigation and Conservation Methods

### 7.1 Mitigation for Impacted Heritage Resources

#### 7.1.1 *Impacts to Heritage Built Form*

The development proposal avoids the demolition of any of the significant heritage assets on the site. Every effort has been made to ensure retention, conservation and adaptive re-use of significant heritage resources in situ, particularly where significant contextual features remain. The proposed new construction is located either in discrete areas that are behind the existing buildings.

Most of the new construction has been isolated to the rear of this site to protect the traditional views onto the site and the experience of the wooded gardens, stream, pond and fountain at the front.

The new construction will be designed to be respectful of the heritage buildings by utilizing compatible materials and methods of construction without actually mimicking the original construction appearance.

None of the new construction will be visually taller than the existing Randwood. Most of the new building will in fact be eclipsed from view by Randwood and the Coach House. The most potentially disruptive impact on the site will be the accommodation of the number of guests cars on site and this has been mitigated by the construction of an underground storage garage to keep this facility out of sight and without significant impact on the existing site or buildings.

The proposal preserves one of the few remaining large estate lots without diminishing the site by sub-division.

#### 7.1.2 *Mitigation Recommendations for Impacts to Built Heritage Form*

None required; the proposed development is respectful of the heritage buildings and does not negatively impact the heritage buildings of the property.

#### 7.1.3 *Impacts to the Cultural Heritage Landscape*

As noted in Section 6.1.2, the major impact to the cultural heritage landscape of the Randwood estate relates to the proposed special events pavilion and its associated entry way.

The re-introduction of the additional gateway that is proposed along the John Street wall will diminish the significance of the long, nearly iconic view of the main house. With regards to the wall itself, the creation of an additional opening along the wall will lessen the anticipation that is generated as passers-by travel from west to east along the wall; the impressive length and height of the wall, which blocks all but the tree-tops from view, creates an impression of mystery and intrigue; the senses are not disappointed when the wall breaks to reveal the impressive landscape which stretches to meet the stately house. This view, which has existed for almost 90 years, has become tantamount to the Randwood estate, and its presence within the John Street streetscape. The introduction of a competing view, a view which may be beautiful but is not synonymous with the history of the property, will distract from the existing view of the house from the street and will lessen the sense of mystery and romance that is so integral to the *genus loci* of the estate and the character of the streetscape.

While it may be argued that a precedent exists because there was once an additional entry off of John Street, the significance of this axis has been lost over the years as a result of changes to the property and the subdivision of the lot. Apart from the central axis leading to the main house, there are no other direct design lines established on site. The remainder of the vehicular network on site exists in a curvilinear form, affording visitors intermittent views that are

constantly changing as the pathways are travelled along. This serves to create the sense of mystery and discovery for visitors on the site. Based on the existing conditions of the site and the remaining cultural heritage attributes, the re-opening of the gateway will diminish the existing character of the site and will detract from many aspects of what makes the main gateway and view so significant.

Regarding views to the pavilion from within the property, the placement of the proposed building will not likely detract from any of the existing views on the site. To ensure that the new development does not impede on views from the central axis nor detract from the main house, it is recommended that a buffer be placed along the north eastern perimeter of the pavilion site to ensure that views from the central walkway to the proposed building will be screened.

#### *7.1.4 Mitigation Recommendations for Impacts to the Cultural Heritage Landscape*

It is recommended that the proposed horse and carriage entry along John Street be deleted from the wall, so that the wall may remain continuous and intact for the reasons stated in section 7.1.3. It is suggested that the entry be incorporated into the existing western gateway and that should an increased traffic flow be the result of this incorporation, that the eastern side of the looped driveway that approaches the Devonian house be widened (to a maximum of 6.5m) to allow for the desired movement of vehicles. Should the drive be widened, landscaping should be incorporated to mitigate for the loss of any trees or vegetation that will require removal due to the expansion and to soften the appearance of increase in paving.

As noted in the previous section, a buffer along the north eastern perimeter of the pavilion (preferably on the north east side of the existing drive) shall be placed (or the existing vegetation be reinforced with additional landscaping) to ensure that views to the pavilion from the central axis are limited and do not detract from the existing views to the main house. The buffer should consist of only vegetative elements; excessive grading or the inclusion of a built feature, such as a wall, would not be in keeping the context of the property.

With regards to any additional landscaping that may be proposed on the property, it should be in keeping in style, scale and materials utilized in the existing landscape, and where possible vegetation that is in keeping the palate used by Dunington-Grubbs (See Appendix C) shall be utilized.

## 7.2 Short Term Conservation Measures

### 7.2.1 Built Form

None is required.

### 7.2.2 Short Term Conservation Measures for the Cultural Heritage Landscape

To ensure that the significant cultural heritage landscape that exists along the central axis of the property is protected and to reduce the impacts of construction to the overall landscape, the following measures shall be adhered to:

- All trees to remain that are adjacent to the proposed construction or to the construction access way or stockpiling areas shall be protected for the duration of construction; a full tree protection plan should be submitted as part of the site plan approvals process.
- All heritage landscape features to remain, including the central axis shall also be protected during the construction period. Protection measures shall be based on proposed construction accesses and routes, stockpiling and staging areas, as well as the footprint of construction. Plans outlining protection measures for heritage site features should also be submitted as part of the site plan approval. This plan can be in combination with the tree protection plan.
- Trees recommended for transplant per Morley's report shall be relocated prior to the commencement of construction and shall be protected as required.
- Stockpiling shall take place away from the significant elements of the cultural heritage landscape, most importantly the central axis. The stockpiling of materials shall take place outside of the drip line of any trees and adequate measures shall be taken to ensure the stockpile area is confined to a designated location (e.g. silt fencing).
- The central axis terminating at the main house should be protected by ensuring that no new built or natural elements are introduced that would impede views from the street into the property. The existing elements which frame and characterize the view, such as the vegetation and pond should also be retained to ensure the quality of the view remains fundamentally unchanged, recognizing that all vegetation will grow and change form over time. As vegetation matures and eventually dies over time, it should be replaced with the same species, or a species of similar character and habit.

## 7.3 Long Term Conservation Measures

### 7.3.1 Built Form

The existing buildings will be maintained in situ and with their existing exterior features. The interiors will be tuned to provide the facilities required for this venture. The entrance hall and two principal adjoining rooms at the front of Randwood will be restored within authentic limits to a period reflecting the tenure of the first Rand family.

### 7.3.2 Landscape Form

Because the vegetative forms of a landscape change and are a living entity, it is to be expected that they will not endure through time the same way that the constructed landscape does. However, steps can be taken to ensure the living component of the landscape sustains itself in form and style. The planted elements of the Randwood estate contribute to the overall cultural heritage landscape, measures should be taken to ensure their longevity and that the essence of the landscape lasts through time. The following recommendations are suggested measures that can be taken to ensure the longevity of the living landscape:

- Should the proponents accept the spirit of stewardship of the cultural landscape we encourage a complete tree inventory and management plan of all of the existing trees on the property to be undertaken; the mature vegetation and the lush canopy as a whole, is a contributing factor to the character and ambiance of the site. Succession planning should be established to ensure that, where mature trees and tree groups exist, a second generation of trees is planted to provide visual continuity to the landscape. This can form part of the overall goals and objectives of the proposed landscape plan.
- Long term management of the Dunington-Grubb landscape involves caring for the remaining original vegetation to ensure the health and vigour of plant material for as long as possible. As previously noted, change is an integral part of a landscape, and as such, all of the vegetation associated with the Dunington-Grubb landscape will reach the end of its lifespan eventually, and will require replacement. All plant material should be replaced with the same species where possible. Large stock should also be considered to minimize the impact of the loss on the overall character of the landscape. Where it is not possible to replace a species in kind because of commercial unavailability, or the onset of new pests or disease, replacement should be done with species of similar character and habit to minimize overall impact.

#### **7.4 Recommended Protection and Enhancement Measures**

As discussed in Section 7.1.4, the John Street wall should not be reopened, and the entry for the pavilion should be incorporated into the existing entry/gateway for the Devonian house.

A buffer along the north east edge of the pavilion should be established to mitigate distracting views to the proposed building.

All proposed planting beds and landscaping, throughout the property should be in keeping with the forms of the existing landscape, particularly that of the main axis.

#### **7.5 Impacts to Adjacent Heritage Properties**

The Randwood estate is located next to Brunswick Place, a property listed on the NOTL heritage registry. The properties are divided by a coniferous hedge; subsequently no significant views exist between them. The proposed development does not threaten to diminish the existing buffer, but it is recommended that the buffer be maintained and that a management plan for the plant material along it be implemented to ensure its longevity.

### **8.0 Summary Statement and Conservation Recommendations**

The property and buildings within the Randwood Estate are associated with several significant historical persons, events and movements that influenced the local and national history. From prominent figures in Canada's early government to the country's first landscape architects and founders of the profession, the site contains both physical and allegorical vestiges of the people and events that shaped the and contributed to the spirit of place that exists today.

The proposed development to create a year round spa and learning destination, high quality residential hotel type accommodation, and the provision of day-time amenities to other visitors in many ways is in keeping with the sites history of use, as Randwood has long been a destination for individuals and their families seeking respite and relaxation.

The impacts that the proposed development will have on the buildings and landscape of the Randwood Estate are limited, with the only significant alteration being the re-opening of the entry along John Street. It has been recommended that this entry is not opened and the access to the events pavilion with which it is associated, be combined with the existing entry to the Devonian house. The reinforcement of landscaped buffers are also recommended to soften and screen views from the central axis to the pavilion.

The proposed development will provide a viable new use for an existing heritage asset and with the recommendations provided within this report, will preserve and restore this asset for future appreciation.

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Dunington-Grubb & Stensson Collection. Garden of Mr. Rand, Niagara-on-the-Lake. 1925. Sheridan Nursery Archives.

Dunington-Grubb & Stensson Collection. Estate – G.F. Rand, Niagara-on-the-Lake, CWE Welch. 1919. Sheridan Nursery Archives.

Niagara Public Library, Historic Niagara Digital Collections. Photograph. Randwood. 1924.  
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## Appendix A | Niagara-on-the-Lake Heritage Property Mapping

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**DESIGNATED HERITAGE BUILDINGS & HERITAGE AREAS  
TOWN OF NIAGARA-ON-THE-LAKE**

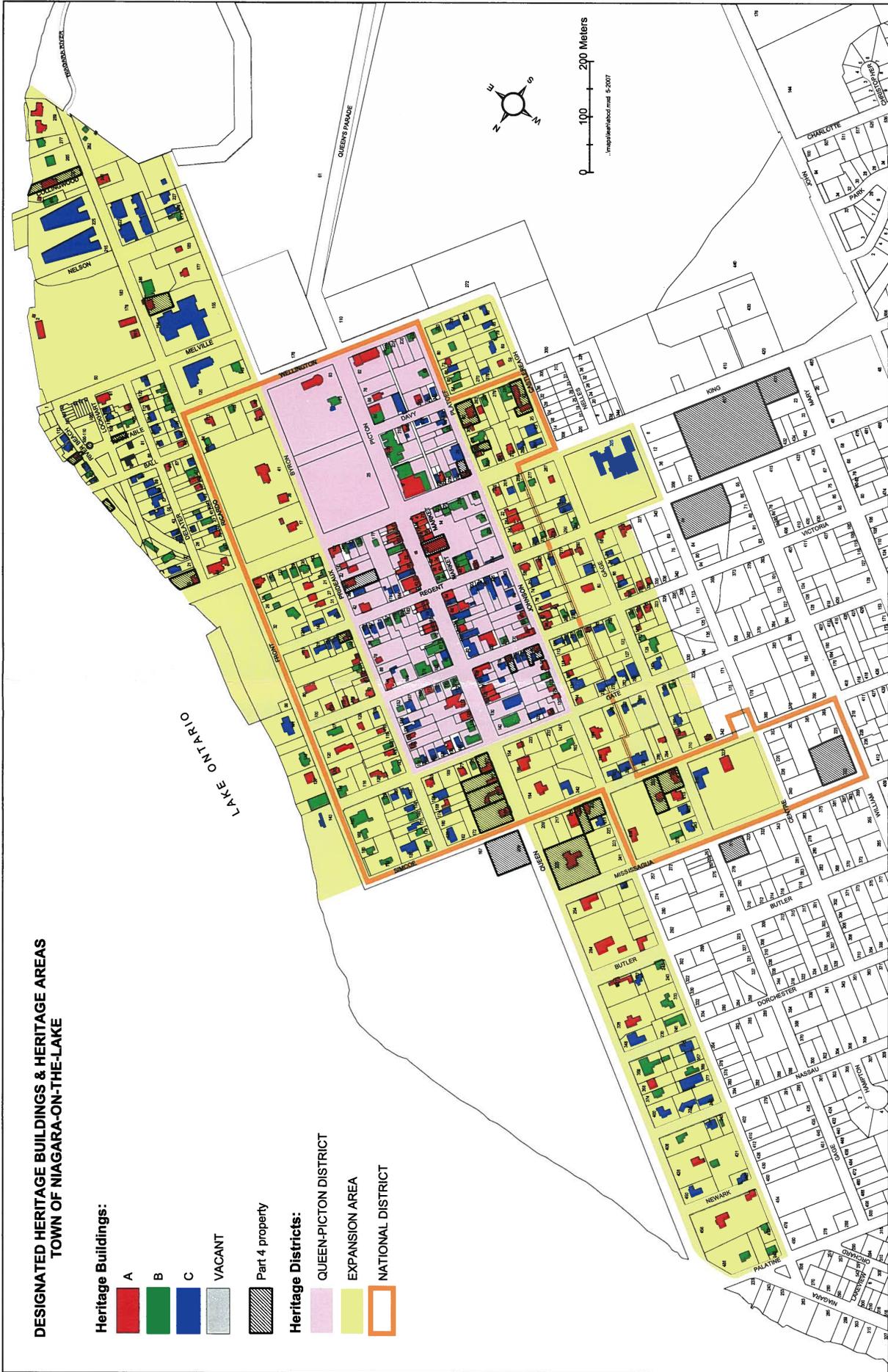
**Heritage Buildings:**

- A
- B
- C
- VACANT

- Part 4 property

**Heritage Districts:**

- QUEEN-PICTON DISTRICT
- EXPANSION AREA
- NATIONAL DISTRICT



**Appendix B | Proposed Master Site Plan Concept**

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CHARLOTTE STREET

JOHN STREET

**SITE STATISTICS**

LOT AREA: 579,128 FT<sup>2</sup>  
 EXISTING BUILDING FOOTPRINT: 4,296 (2,080 FT<sup>2</sup>)  
 PROPOSED BUILDING FOOTPRINT: 1,184,000 (1,184,000 FT<sup>2</sup>)  
 EXISTING PARKING: 77 SPACES  
 PROPOSED PARKING: 2,005 SPACES  
 TOTAL PARKING: 2,082 SPACES

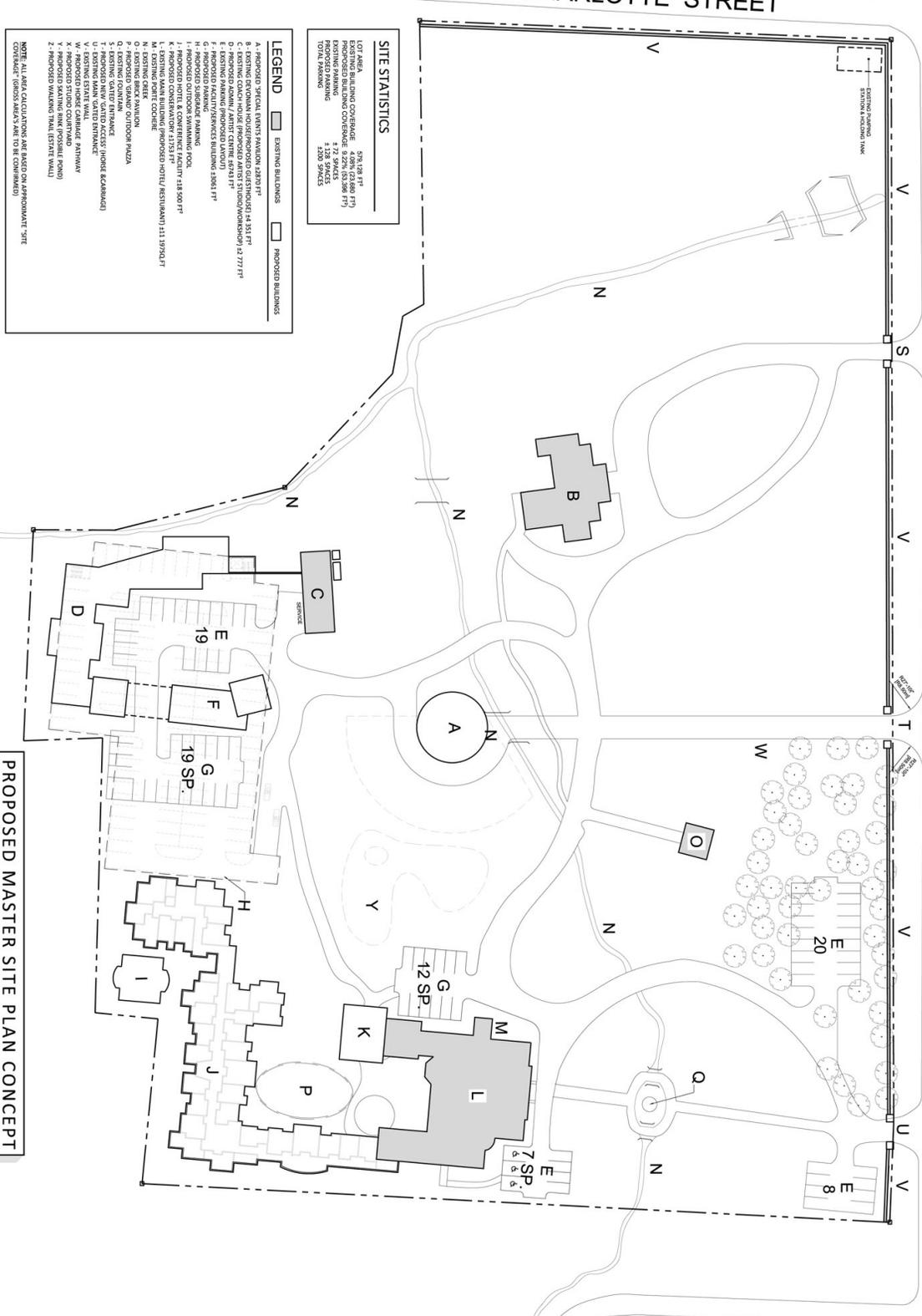
**LEGEND**

EXISTING BUILDINGS      PROPOSED BUILDINGS

A - PROPOSED SPECIAL EVENTS FAULCON 22,875 FT<sup>2</sup>  
 B - PROPOSED 100,000 FT<sup>2</sup> OFFICE BUILDING  
 C - EXISTING COACH HOUSE (PROPOSED ARTIST STUDIO/WORKSHOP) 12,777 FT<sup>2</sup>  
 D - PROPOSED ADMIN / ARTIST CENTER 18,141 FT<sup>2</sup>  
 E - PROPOSED FACILITY/REHEARSAL BUILDING 18,941 FT<sup>2</sup>  
 F - PROPOSED PARKING  
 G - PROPOSED PARKING  
 H - PROPOSED OUTDOOR SWIMMING POOL  
 I - PROPOSED HOTEL & CONFERENCE FACILITY 118,500 FT<sup>2</sup>  
 J - PROPOSED HOTEL & CONFERENCE FACILITY 118,500 FT<sup>2</sup>  
 K - EXISTING MAIN BUILDING (PROPOSED HOTEL/RESTAURANT) 111,970 SQ. FT.  
 L - EXISTING MAIN BUILDING (PROPOSED HOTEL/RESTAURANT) 111,970 SQ. FT.  
 M - EXISTING MAIN BUILDING (PROPOSED HOTEL/RESTAURANT) 111,970 SQ. FT.  
 N - EXISTING DRIVE CONCERRE  
 O - EXISTING BRICK PAULSON  
 P - EXISTING OUTDOOR PALAZA  
 Q - EXISTING ROYALTY  
 R - EXISTING GATED ENTRANCE  
 S - EXISTING GATED ENTRANCE (POST EXCHANGE)  
 T - EXISTING MAIN GATED ENTRANCE  
 U - EXISTING MAIN GATED ENTRANCE  
 V - EXISTING STAIR WALL  
 W - EXISTING STAIR WALL  
 X - PROPOSED SKATING RINK (POSSIBLE RINK)  
 Y - PROPOSED SKATING RINK (STAIR WALL)  
 Z - PROPOSED SKATING RINK (STAIR WALL)

NOTE: ALL AREA CALCULATIONS ARE BASED ON APPROXIMATE "SITE COVERAGES" (GROSS AREAS ARE TO BE CONFIRMED) "SITE COVERAGES"

**PROPOSED MASTER SITE PLAN CONCEPT**  
 Scale: 1" = 40'-0"



COMMISSION:  
**ROMANCE INN & ART CENTRE**  
**RANDWOOD ESTATES**

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Drawn by: ZAKI DAVI  
 Date: 15th JAN 2020  
 Scale: AS SHOWN  
 Project No.: 2000-090-123

Master Site Plan Concept

Sheet Title: MASTER SITE PLAN CONCEPT

Issued for Rezoning: N/A  
 Issued for Site Plan Agreement: N/A  
 Issued for Permit: N/A  
 Issued for Construction: N/A  
 Drawn by: ZAKI DAVI  
 Date: 15th JAN 2020  
 Scale: AS SHOWN  
 Project No.: 2000-090-123

Scale: 1" = 40'-0"

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## **Appendix D | Documents from Niagara Historical Society & Museum**

# DRAFT

**CHILDHOOD MEMORIES OF NIAGARA-ON-THE-LAKE  
IN 1948-1954  
By Peter Moogk**

HOW I CAME TO KNOW THE TOWN OF NIAGARA

1948 was the year when my parents acquired a summer home in Niagara-on-the-Lake. Before the Second World War father, as a junior officer of the Royal Canadian Regiment, had attended the summer militia camps on the Niagara Commons. That was his introduction to the town. After my parents' marriage in 1938, they both spent the summer here, staying with Bert and Marg Hall. During the war, when living in England, they dreamed settling permanently in the old town of Niagara.

The home they bought in 1948 was "Walnut Wyld" a gloomy, neglected house at the intersection of Gage and Simcoe Streets, formerly owned by the Billings family. Dad saw the potential of this 1817 house to become, once again, a gentleman's home in the Georgian style and a showcase for his collection of English, eighteenth-century furniture. He also wanted to give his children one firm "home" despite our nomadic existence. The fact that we children often signed guest books with "Niagara-on-the-Lake" as our place of origin showed that he had achieved his aim. That house was my family's summer residence and we spent up about three months a year in it. Much of our time on holidays and during the summer was spent in fixing up this house. It became my parents' permanent home when father retired from the army in 1965 and they lived in it until they died in the 1990s.

I remember my first experience of that house in 1948. We drove from London, Ontario, to Niagara via Stoney Creek and the Homer lift bridge. Coming off the Old Stone Road, which was paved, the town's residential streets were simply tar with a sprinkling of gravel – no asphalt. The summer heat caused the tar to re-melt, sticking to bare feet and footwear. At our destination, we sat in the tall grass in front of the house, with its wide, decaying verandah on the front. At night the grass sheltered fireflies, which we would try to catch and put into glass jars with perforated lids. Since the 1960s I have never seen fireflies at Niagara – whether it is pollution or the destruction of wild areas that caused their disappearance, I cannot say.

My parents' home was renamed "Storrington" for a town in Sussex close to my birthplace. The house was originally heated by a forced air system.<sup>1</sup> We spent Thanksgiving there in

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<sup>1</sup> Dad had a house sign made and painted by an aboriginal man. On the reverse it read "Beastly Manor" and we children teased tourists in Niagara by reversing the sign after they passed the house. On a second pass, they were puzzled by the dramatic change in our home's name. The same artist produced a shop sign "Galleon Antiques," complete with an illustrated ship, and

about 1950 and the hot air vents belched smoke as we snuggled for warmth into damp bedding. Smoked fish have my sympathy. That house was leased out for many winters and the tenants all remarked on how cold and drafty it was.

After Dad's departure for Japan in July 1952, we had stayed on at Niagara<sup>2</sup> until November or December – I do not know why; it may have been due to a tenant in our Ottawa home. I attended Parliament Oak School and became adept at making paper darts, decorated with portholes and other features to make them resemble space ships, as portrayed in movies such as "Destination Moon" which I saw at the Brock Theatre. From the film "The Day the Earth Stood Still" I memorized the phrase "klatoo verada nikto" which was shown to calm a dangerous, extraterrestrial robot. I was honoured at Niagara when Donald Taylor, an older boy, befriended me. In my habitual classroom reveries I often fixed my attention on the wall map of Canada sponsored by Neilson's candy company. The chocolate bars illustrated in its quarters seemed to come to life, inviting me to pluck them from the map. Education interfered with my vocation as a day-dreamer. More tangible were the vegetables from my garden. In summer I grew my own corn and vegetables that were watered and nourished on "Na-Churs" liquid fertilizer bought at Harrison's Hardware on Queen Street. Despite this attention, my harvest was miniscule.

## THE TOWN'S PHYSICAL AND HUMAN ASPECTS

Today's Niagara-on-the-Lake today is very different from the town as it was in the early 1950s. Niagara then was a down-at-the-heels, sleepy, former county town whose glories belonged to the past. Tourist traffic flowed around rather than through the town. The principal attractions for outsiders were Fort George and Navy Hall – both on the southeastern edge. Tourists could see everything in one day and only ventured on to Queen Street to have lunch or to buy an ice cream cone to offset the sultry summer heat. The Prince of Wales Hotel – now an expensive and attractive place - was then a low drinking establishment for disreputable locals. We kept well away from its perpetually open door.

There was a wide social gulf between the permanent residents and the wealthy American families, such as the Rands of Remington-Rand business machines, who maintained summer homes at Niagara. Summer residents doubled the town's population to over 3,000. Many local people were employed as gardeners and servants by these prominent families. In the late 1950s my sister Leslie briefly worked as a nursemaid for the Penneys, owners of the J.C. Penney Stores, at their Queenston residence. One esteemed lady who

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this sign sat in the barn until Dad realized his long-held, post-retirement ambition of opening an antique shop in Niagara-on-the-Lake in the 1970s.

<sup>2</sup> The venerable Town of Niagara did not officially become Niagara-on-the-Lake (the post office's name) until January, 1<sup>st</sup>, 1970.

we saw at church was rumoured to have been the mistress of one of the wealthy summer sojourners.

At the beginning of each summer Dad sent my brother Christopher and me to Gus Tranter's barbershop [now Harrington's clothing store] where, for fifty cents, Gus gave us a close trim that would last for up to two months. We came out looking like sheared sheep but, as Dad used to say, "the difference between a good and a bad haircut is ten days." Other boys ran their hands over our brush cuts and chanted "Fuzzy-Wuzzy was a bear; Fuzzy-Wuzzy had no hair; Fuzzy-Wuzzy wasn't very fuzzy, was he?" The other barber in town was Edwin Curtis, who remembered cutting my father's hair in the 1930s – it was certainly not a 50-cent brush cut.

Queen Street, which is now dominated by art, gift and souvenir shops as well as by fancy restaurants, then catered to practical needs: there were a butcher, a shoemaker (with a pool hall in the back), four grocery shops, a printer, three restaurants, two hardware stores, two clothing stores, a 5c. to \$1 variety store, the Niagara Hydro office, two drugstores, a bakery, an Eaton's mail order office, and two barber shops. Postcards and souvenirs for tourists were sold in about four of these stores.

The original title of the local weekly newspaper, *The Niagara Advance and Weekly Fruitman*, revealed the real economic foundation of the town: not tourism but orchard products. By the harbour there was a basket factory that made containers to hold the fresh peaches, plums, cherries and grapes shipped out on the New York/Michigan Central spur line or on the passenger steamer *S.S. Cayuga*. On the town's west side was the Canadian Cannery plant that processed local fruit and vegetables for sale under the *Aylmer* label. That building is now occupied by the Pillar and Post restaurant and hotel. There was also some commercial fishing: small, open boats with their single-stroke engines putt-putted away as they left the harbour in the early morning to catch whitefish, pickerel and trout at the river's mouth.

The first sound I heard upon waking at Niagara was the hoo-hooing of the mourning doves or pigeons. Some families kept chickens within the town, but their roosters were unreliable timekeepers who crowed after sunrise and did not stop. As the temperature rose and the dew evaporated, grasshoppers began their incessant thrumming and cicadas produced their sawing sound. .

For a long time we did not have an electric refrigerator and an ice-man delivered dripping blocks of ice held by iron calipers. The blocks were placed in a wooden icebox with a galvanized metal lining in the back porch. I horrified my parents by bringing back dead fish from the lakeshore and depositing them on the ice. These fish looked just as good as

caught fish to me. When additional ice was needed to make ice cream for a birthday party, my brother and I carried twenty-pound, brown paper bags of ice back from Sherlock's ice house on Market Square. Chilly rivulets trickled down our hot and straining bodies as we trudged home. The homemade ice cream justified the effort.<sup>3</sup> We might also be sent to John Campbell's Niagara Dairy on Platoff Street to fetch extra milk and cream. The cool, damp interior was festooned with coils of fly paper that gave off a sickly sweet smell.

## CHILDHOOD DIVERSIONS AND SOME LOCAL CHARACTERS

Father's rule was that we children worked for the family in the morning and, if we were no longer needed, the afternoon was ours to do as we pleased. My customary, morning task was to push a resistant, clacking hand-mower over a wide expanse of browned grass. Dad then owned half the block (consisting of two acres) and our lawn on the front acre ran to the mid point of the block, as far as the neighbouring Hahn property. Part of the front acre and the entire back acre were allowed to go wild with tall grass, thistles, milkweed, burdocks and red sumach bushes. It made a fine playground. The older children often tried to sleep out in the overgrown area (I sheltered in a wooden box made for Wabasso bedding), but we usually retreated to our beds indoors after a few hours of close familiarity with insects. Any improvised structure we built in a tree or on the ground was called "a fort" even though it had no defensive character.

Our younger sisters liked to chase and catch baby toads in the high grass. The girls had a sand box and metal swimming pool beside the old stable behind our house and they ran around stark naked while at play. Our cousin Marguerite, who had a summer job at the Fort Erie racetrack, said that she brought the boy friends that she wanted to get rid of to our summer home, where they could see her relatives' semi-savagery.

Collecting the mail was a good excuse for taking off from work and going downtown. The post office was located in the old Imperial Bank Building on Queen Street and I reached Queen by way of Simcoe Street. Our mail was in the "general delivery" pigeonhole. En route I walked past the cottage hospital from which the cries of newborn infants issued. Once across Gate Street, I passed the house of Fred Garrett, a genial First World War veteran who sat out in front and shared his interest in postage stamps with us. First War vets always said "cheerio" as a greeting and as a farewell. McClelland's Grocery, farther on, was owned by our parents' friend, Fred Marsh, who liked to be referred to as "Uncle Scrooge." It was customary to address men who had been officers in

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<sup>3</sup> The ice cream making took place the old, long shed across the back of the house – now long gone. In it we stored some chocolate milk in an open jug overnight and, next day, after drinking some of it, found a drowned mouse in the jug's bottom. There were also long-handled, flit guns in the shed, for spraying DDT, and we pumped spurts of this toxic vapour at each other. It is a wonder that our children were not born with deformities, given our liberal exposure to this insecticide.

the Second World War by their military rank and Fred Marsh was also called “Colonel Marsh.” Donald Taylor’s father was “Captain Dewey Taylor.” Bert and Marg Hall, with whom our parents had boarded before the war, also worked in McClelland’s. The grocery was an old-fashioned store with spools of string hanging from the ceilings and rolls of brown paper at one end of the counter so that portions of meat or cheese could be wrapped up on the spot for customers. The wooden floors creaked underfoot.

At the corner of Victoria and Queen Streets, was Wilson’s British-American Gas Station and garage. I could not resist giving a push to Wilson’s swinging, sidewalk sign for Fisk Tires – a yawning boy in a nightshirt with candlestick in one hand and a tire over the opposite shoulder with the slogan “it’s time to re-tire.” We inflated our swimming inner tubes at Wilson’s. It also may have been the source of some of these much-patched, tire tubes. Wilson’s garage had the first coin-operated Coca-Cola machine that I had ever seen. We children collected the bottle caps from the reservoir below the bottle opener. I preferred Wishing Well grape soda from the cooler in the Albrechtsens’ Niagara Home Bakery where you could sit down on wire-backed chairs out of the sun.

Across the street was Joe Mulholland’s General Store [now Taylor’s convenience store], which once had a window display to promote blood donations during the Korean War. Souvenirs from Japan and Korea sent back by my father and by local servicemen were used for that display. Tranter’s barbershop stood between it and the Brock Theatre [now the Royal George]. Getting the bi-weekly schedule of films to be shown at the Brock Theatre was a must for planning what movies we would like to see. Films changed every two days so there was a wide choice. I saw *Kim*, *Broken Arrow*, *Cheaper by the Dozen*, *King Solomon’s Mines*, *The Great Caruso* and *Peter Pan* at the Brock. The Brock Theatre’s washroom had some inspired graffiti writers: “we aim to please, will you aim too, please?” was inscribed over the urinals. That was the politest inscription that I can recall. No films were shown on Sundays and on that day we then went to St. Mark’s Anglican Church. Our minister at the time, the Reverend Smith, was known as “Creeping Charlie” because of his long and circuitous sermons.

Television had not yet cut into movie attendance. The first Canadian telecasts were in 1952 and, before then, but a few residents had aerials to pick up television transmissions from Buffalo, New York. On weekday afternoons we children invaded the home of a friend whose parents had acquired the mesmerizing, one-eyed God to watch the Howdy Doody and Wild Bill Hickcock shows, courtesy of WBEN-Buffalo. We children instinctively sat down in rows, as though we were at a theatre.

Niagara really came to life on Friday and Saturday nights when farm families came into town, parked their pick-up trucks diagonally, herring bone fashion, on the main street, and

went to a movie before or after patronizing a café or ice cream parlour. Teenagers congregated in the Thistle Shamrock Coffee Bar or at the Club 19 Restaurant. After the stifling heat of the day it was a pleasure to walk up Queen Street in the cool of the evening. At the far end of the street, on Friday and Saturday evenings, one could hear live and recorded music and watch people dancing in the Simcoe Park pavilion. Band concerts, sing-alongs and dramatic performances were presented there and in the Town Hall auditorium long before the Shaw Festival existed. The public toilets under the pavilion gave it a certain air of distinction.

Bate's Rexall Drug Store on Queen Street had its own soda fountain with revolving bar stools from which Leslie liked to order root beer floats. We took furtive peeks at the drugstore's display rack of "sunbathing magazines" which rationalized their display of airbrushed female nudity as a celebration of health and outdoor recreation. That was the hottest adult entertainment in town, apart from listening to other people's telephone calls on the party line (there were two and three digit telephone numbers for calls within town). My brother Chris persuaded me to go into a magazine shop and confectionary opposite Harrison's Hardware store to buy *Foo* and *Gag* magazines for him. These publications contained bawdy jokes and suggestive cartoons that I did not fully understand. [for example, a cannibal chief is presented with a beautiful woman captive and declares that, today, he wants his "breakfast" in bed]. It was wise to cover one's ignorance by assuming a knowing air and laughing as loudly as the other boys. Connolly's variety and china store at the corner of King and Queen Streets supplied more respectable reading material, such as the Classic Comic Book distillations of famous literary works. They were not as entertaining as war and horror comics, which some adults wanted to ban.

Going down to the Niagara-on-the-Lake wharf to watch the arrival and departure of the passenger steamer S.S. *Cayuga* was a good diversion, especially when visitors from Toronto were expected. The trailing wooden buffers that protected the hull of the vessel groaned and splintered as the ship bumped into the dock, which recoiled from the impact. Local boys dived into the swirling wake for coins thrown by passengers on the upper decks. This was a sport in which we did not engage and wisely so because drownings in the river and lake were an annual occurrence.

For an afternoon swim there was a choice of two or more beaches. Queen's Royal Beach was popular because of its wide, sandy beach and the Lion's Club refreshments stand there.<sup>4</sup> There was also a lifeguard. The rising lake level and dredging caused the entire disappearance of that beach. The dredge known as "the sand sucker" collected river bottom sand for use by construction companies. Mississauga Point was closer to home

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<sup>4</sup> Queen's Royal Park was also the site of the annual carnival put on by the Lions' Club on the Dominion Day weekend. The Royal Canadian Legion had its own carnival in the late summer.

and less crowded. Despite the hazard of wasps and thistles to bare feet and the smell of decaying seaweed, Mississauga Point's shoreline was our favourite swimming spot. We paddled about on inflated rubber inner tubes and, if we were lucky, we could ride the waves created by the passage of the steamer *Cayuga* in the late morning or mid-afternoon.

We got terribly sunburned after hours at the beach but we were convinced that lying in the sun was beneficial to our health. No one was concerned about skin cancer. Our tanned skin became so leathery that when Drs. Bruce and Jack Rigg tried to give us immunization injections the needles sometimes bent. Golfers were hostile to bathers crossing the fairways and greens to reach the shoreline. Their lost golf balls were retrieved from the waters and sold to the pro shop in the clubhouse for a small amount of money. This activity cut into the living of a deaf mute known as "Dummy Billings" who would chase us with waving arms and incoherent grunts. Uncharitable nicknames were common then: there were locals known as "Fats Grimstead"<sup>5</sup> or "Nigger Bill." Ethnic prejudices were seldom disguised. When I watched Harry Lee the plumber at work in our basement, this Great War veteran would tell me that any Englishman was worth four Frenchmen and that, as soldiers, a Frenchman equalled eight Italians. Multiculturalism and multiracialism were still alien concepts. One of the few black residents was an old woman who lived on Victoria Street – the last descendant of the fugitive American slaves who once had their own church in the township.

We all had battered bicycles (mine a gift from Richard Marsh)<sup>6</sup> and the boys of the "Niagara River Rats" gang peddled up to Chautauqua and beyond to go skinny-dipping and rafting on the Two Mile ponds behind the rifle ranges. I was a junior member of this gang after my brother,<sup>7</sup> Richard Marsh, Jay Irwin, Michael Phelps, Peter Walsh, David Shepherd, Donald Taylor, Tom Rigg and others. Much older boys haunted Jack Greene's livery stable, which became a fire hall and, later, a wine tasting boutique.

Jack Greene owned several dilapidated properties in town, including a roofless, stone blacksmith's shop on Regent Street, which contained some decaying carriages. He discarded nothing and, inside his home on Centre Street, there were half-opened boxes of mail order goods and piles of old newspapers. The topmost issue on one pile, located on the stairs, read "General Pershing enters Paris," which was a clue to its age: about 37 years old.

My sister Leslie played with Peggy Clarkson, Gail Zoeger, Melinda Cockburn, Bonnie LeDoux and Daphne Liddicoat, the daughter of a civil engineer from Cornwall. Both

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<sup>5</sup> I believe that he was the handyman who removed the dead cat from the washing machine's mechanism.

<sup>6</sup> The bicycles were decorated with reflective tape given away at Jim Usher's insurance and real estate office.

<sup>7</sup> As generalissimo of the Niagara River Rats, Chris drew up a diagram of manoeuvres that we could perform on our bicycles.

Melinda and Daphne lost their fathers in the 1950s. They were guests at family birthday parties. Crossing over the river to visit Youngstown or Fort Niagara in the United States was a part of birthday celebrations and the customs inspection at the U.S. border was cursory. After my sister Leslie's party we went over the old Queenston suspension bridge's timber deck, which rattled, it was suggested that we might end up in the river. Daphne Liddicoat, one the party guests, said "if get my dress wet, I'll get heck from my mother." Surviving the fall was of more concern to me. On excursions to Lewiston, Youngstown or Buffalo, New York, we bought Mars Bars and Tootsie Rolls, which were not sold in Canada at the time. The United States seemed more exciting than Canada and Americans had exotic habits. Gum chewing was widespread among Americans and, at crosswalks in Youngstown, I marveled at the many pink and grey splotches on the pavement created by discarded wads of chewing gum. Canadians have now attained this level of civilization.

Chris had a long bow and, after we tired of shooting arrows at ground-level targets, I attempted to see how high one could shoot an arrow. I could imagine that I was one of King Henry V's bowmen facing the French knights at Agincourt. Little thought was given to the arrow's conversion into a dangerous and unpredictable missile after it had passed its apogee. One arrow disappeared without a trace. A day or two later I heard that our neighbour Ted Warner had found a steel-tipped arrow impaled in the roof of his car. The bow was put away and I expected the sword of retribution to fall upon me but, curiously, it never did! Unrelieved guilt and fear of detection can be more troubling than punishment.

The summer militia camps at Niagara-on-the-Lake had lapsed from 1947 to 1951. They had been a great boon to the town's economy. When the military encampments on the Common were revived in 1952 the rifle ranges and adjacent training area provided us with the spectacle of Sherman tanks manoeuvring, flame throwers being discharged, and even a bazooka being fired. These activities on the military reserve were watched from the Lakeshore Road, on the other side of a wire fence. With Dad present, we were allowed to get closer to the action and I was given a ride in a tank and allowed to fire a burst from a Bren gun. After supper Chris and I often bicycled to the Common, near the baseball diamond, to watch the soldiers' retreat ceremony and the lowering of the flag, sometimes accompanied by the bagpipes and drums of the 48<sup>th</sup> Highlanders or Argyll and Sutherland Highlanders' bands.<sup>8</sup> Militiamen who were confined to camp would pay local children to deliver notes to the girls that they had met in town.

## CONCLUSION

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<sup>8</sup> We had prints of the dress uniforms of these and other Canadian regiments that Chris had ordered from the Hiram Walker distillers, publisher of this regimental series.

My bedroom at Niagara was at the back of the house, with a view of St. Andrew's cemetery across the street. I would lie on the bed waiting for the day's heat to subside because we had no air conditioner. The shadows of the graveyard's swaying trees in the moonlight looked like ghostly shapes to my overactive imagination. No wonder we youngsters would congregate under a weeping willow tree in this cemetery to swap stories of ghosts or of horrors, such as girl whose hand was caught in a bean slicer at the Aylmer cannery. One can see from this excess of nostalgia that our summers at Niagara-on-the-Lake were the high point of the year. I could go on about cherry pit spitting contests behind our parents' summer home, the bicycle rides to Queenston or Port Weller, the backyard marshmallow roasts, or the taste of oatmeal squares from the Niagara Home Bakery, but the point has been made. Niagara was a wonderful place for a young boy. I never went to a children's summer camp nor did I feel the need to do so. Niagara township was a sufficient playground for me.

## History of *BRUNSWICK PLACE*, also known as *PINEHURST*

### 1792 -1829, The First European Owners of the Land

*Brunswick Place*, an estate of almost 10 acres, situated on John St. facing the Niagara common, was originally part of a 160 acre tract granted in 1796 to Hon. Peter Russell, an important figure in the early life of Upper Canada. He served as Receiver General from 1792 to 1796 and, after Lieutenant Governor Simcoe's departure, as Administrator of the province and President of the Executive Council.

In the fall of 1798, having reluctantly moved to York, the new capital, Russell sold the 160 acres to William Dickson. Dickson, one of the town of Newark's early merchants and a cousin of Hon. Robert Hamilton, became one of Upper Canada's first lawyers, and, after the War of 1812, a member of the Legislative Assembly, and a successful land developer. In 1821, Hon. William gave part of the 160 acres - 9 acres 3 rods and 9 perches that would become known as Brunswick Place - to his second son William Jr., and the abutting 10 acres; now known as Randwood, to his eldest son Robert. A few years later, William Jr. left Niagara and, in January 1829, he sold his land to Robert Melville, a Captain in H.M. 68th Regiment of Foot stationed at Fort George, for 200 pounds..

### 1830 -1862 The Melville Years

Melville built the nucleus of the present house, a three bay design with an elaborate centre doorcase - which he named *Brunswick Place*, perhaps because he had met his wife in New Brunswick - soon after he purchased the land. He was then 41 years old recently retired from the army and father of two young sons, John Gladstone born in 1826 and Linn Martin born in February 1828. A third son, Robert Hagerman, was born in 1830, and a fourth, Winniett Lockhart in 1833. Also part of the family was Anna Maria Fallon, the teenaged daughter of Melville's wife Margaret (nee Dunlop).

The Captain, evidently a genial man of varied interests, soon became active in the business and social life of the town. In 1832, he was unanimously elected manager of the newly formed Niagara Harbour and Dock Company, a mercantile enterprise that, by the late 1830's, was one of the largest ship building concerns in Ontario. On July 30, 1833, *The Gleaner* attributed the rapid progress of the building at the dock to the "exertions of Captain Melville to whom Niagara is much indebted". In appreciation, Melville street that runs from Byron street to the basin and dock, was named for him. A year or two later he acquired a second job when he was appointed Commissioner of Customs. He also was a member of the local Literary and Debating Society, of the Niagara Sleigh Club and of St. Mark's Church.

The Dock Company's ship builder in the 1830's, Robert Gilkison, left a diary, that provides bits of "colourful" detail about Melville's duties. Entries for June 13 /14 1838, for example, note that "fat, jolly Captain Melville" presided over the successful trial run of the company's new steamer *Queen Victoria*. She achieved a speed of 11 miles per hour on the Niagara River, making her according to Gilkison "Queen of Lake Ontario" Two weeks later, the steamer celebrated Queen Victoria's coronation by making her first trip to Toronto, covering the 38 miles in 3 hours and 7 minutes. Gilkison was on board with sixty ladies and gentlemen, who no doubt included the Melvilles. When they left Toronto, Gilkison noted, every shop and building was lit for the coronation and when they arrived

back in Niagara "in the evening our village was illuminated". Mrs Jameson too praised the captain in her book *Summer Rambles* (1838). "The chief proprietor at the dock" she writes, "is Captain Melville, a public-spirited, good-natured gentleman."

Melville's good fortune did not last. The company faced financial problems and in October 1838 he resigned to make way for a man more experienced in mercantile affairs. In August 1839 his second son, Linn, died at the age of 11, and the following year his third son, Robert, aged 9. ( His first born, John, had died in 1832 aged 5.) In failing health, in the spring of 1847 he made a will leaving Brunswick Place to his "beloved wife Margaret Dunlop". Shortly before his death at the age of 61 on October 13 1849, his long army service was finally recognized when he was presented a medal with five clasps, each representing an action in which he had served.

One of the witnesses to Melville's will was Anna Maria P. Fallon, Mrs. Melville's still unmarried daughter. The censuses of 1851 and 1861 reveal that she continued to live with her mother at Brunswick Place. (They also reveal that Miss Fallon was born in New Brunswick and thus give some support to the hypothesis that it was there that the Captain met and married the young widow Fallon. Both ladies deducted a few years from their declared ages on the 1851 census, a not uncommon practice at the time.) Winniett Lockhart, the surviving son left to join the army. He returned to town in 1857 as lieutenant in command of the Niagara detachment of the Royal Canadian Rifles. (Niagara Mail, March 25 1857) Eventually, like his father, he attained the rank of captain.

Board of Police minutes for November 1849 and August 1851, reporting requests for tax relief on Brunswick Place indicate that Mrs. Melville was "strapped for cash" after the Captain's death, as do two mortgages raised on her property in 1856 and 1859. The latter, for 1,000 pounds, may have been partly used to improve the house, since her tax assessment rose in 1860 to \$4,000, \$700 more than that of her neighbour, Woodlawn (now Randwood). In 1862, she took in a tenant, army officer Lt. T. Cobham, but the same year she was forced to release Brunswick Place to the 1859 mortgage holder. Miss Fallon tried to keep the house, but faced foreclosure in 1867, and thus ended the Melville period at *Brunswick Place*.

Mrs. Melville died in Sarnia in October 1878 at the ripe old age of 82, Miss Fallon in March 1886 at the age of 70. Both are buried in St Marks cemetery with the captain and his three young sons. Also buried in the Melville grave is Ernest Edward Melville, perhaps a great grandson of Robert. There are, as well, reminders of the Melvilles inside the church itself. The font was a donation of Mrs. Melville and Mrs. Hall. The bronze and brass lectern in the shape of an angel with outstretched wings was donated much later in memory of Captain Winniett Lockhart Melville by his daughter, Mrs. Austin of Detroit.

### 1867 -1881 The Coit Intermission

Catherine Squier Coit and her husband George first leased and then, in 1874, bought Brunswick Place for \$4,500 from the Melville/Fallon mortgage holders. They owned it until 1881-long enough that it became known locally as the "*Coit Place*". Tax records suggest that they made no additions or extensive alterations. Their assessed value remained static at \$3,400. The same records indicate that they had a young, resident butler named Thomas Bible.

## 1881-1895 Captain R.G.Dickson : Expansion and a new name

In 1881, Robert George Dickson, a grandson of the second owner of the land and son of Hon. Walter Dickson, Niagara's first senator, returned from service with the Queen's Own Hussars and Dragoon Guards and bought Brunswick Place from Catherine Coit for \$5,500. He made such extensive repairs and additions to the house that the Niagara columnist of the Niagara County News of Youngstown, New York opined on October 14, 1881 that when complete Dickson would have "the finest residence in town." By 1883, his tax assessment had doubled to \$7,600. So it is probable that the addition to the original three bay structure dates from 1881/2. Dickson renamed his refurbished house "Pinehurst". (May 3, 1895 *Youngstown News*, New York), because of the number of pines on the property. according to the Buffalo Express (1896) there were "200 of them by actual count, many of them planted in circles by Captain Melville".

A popular figure in Niagara's social scene, and a keen golfer - he apparently became addicted while stationed in Scotland - Robert Dickson was the first captain of the Niagara Golf Club, and in the first Interprovincial Tournament between Ontario and Quebec held at Niagara, he and his twin John Geale played for Ontario and won by a considerable margin.

Robert and his brothers, it seems, regularly put pleasure before business. The will of Hon. Walter H. Dickson records the profligacy of his surviving sons: "Walter Augustus owes more than his inheritance"; "John Geale assigned his share to Walter Augustus, who has assigned it to J.J. Kingsmill" (the sheriff); "Robert George owes more than his inheritance." Lacking cash, Robert mortgaged Pinehurst to the hilt and finally lost the property in 1895.

The following year, his son Bertie, following in his father's footsteps, won the International Challenge cup on the Niagara links!

## 1895 -1960s The American Summer Residents

In late 18th. and early 19th. centuries, Niagara blossomed as a resort town and became the summer home of many wealthy Americans. Some built new homes, several of them on Queen St. facing the golf course; others refurbished existing homes, including *Pinehurst* and its neighbours *Woodlawn (Randwood)* and *Rowanwood* (tom down and replaced by the Sheets house c.1920).

For over 60 years after 1895, except for a short, Canadian, intermission in the 1920's, Pinehurst was the summer home of three families from Buffalo, the first of whom were the Bissells.

### 1895 -1902 H.P.Bissell

On May Day in 1895, Herbert P. Bissell, a prominent Buffalo barrister, paid \$7,800 under power of sale for the former Dickson property. The following day, St. Catharines' painter John Alleyn began painting and redecorating preparatory to the arrival of the Bissells and their daughters for the summer. (*The Times* May 2 1895) On August 9, the *Youngstown News* reported that Mr. and Mrs. Bissell had bought "one of the prettiest summer homes at Niagara on the Lake...a dark red house standing in a deep grove." A bit later, perhaps after gardeners had been at work, the local Times would attempt to match that description, advising its readers to "look into the beautiful grounds and delightful home of one of Buffalo's most respected citizens, the genial H.P. Bissell Esq."

Had they peered behind the house, the "viewers" might have seen two horses and a dog in the paddock. ( These pets are listed on his tax assessment 1895-1898.)

Apart from cosmetic improvements to house and grounds, Bissell apparently made no changes to the estate. Tax assessment remained at \$9,000 from 1884, the last year of R.G. Dickson's ownership, through 1899.

The family's summers at *Brunswick Place* were, in any case, cut short because of the death, in Niagara, of an infant son, Herbert C. ( *The Times*, June 4 1896. He had been born at Niagara in September 1895. See, *The Times* October 4 1895.) and the subsequent lengthy illness of his wife. The family returned to *Pinehurst* for the summer of 1897, accompanied by a "companion" for Mrs. Bissell, and the daughters continued to socialize with local girls, whose visits to the Bissell's Buffalo home in the winter months are duly recorded in *The Times* Local News column. However, by the turn of the century, despite the reported recovery of Mrs. Bissell, the house was rented to the A.J. Wright family of Buffalo.

### 1902 -1922 Charles and Harriet Greiner

In March 1902, Charles Michael and Harriet J Greiner, also Buffalonians, became the new owners of the fine estate, apparently taking over Bissell's mortgage in the process. *The Times*, of course, reported on May 9 that they had "taken up residence in their fine house here for the summer. We bid them a hearty welcome." Information about the Greiners is difficult to find. Strangely, given their relatively long period of ownership, a search of the local newspapers has been unproductive and, though Mr. Greiner was an officer of the Niagara Golf Club its records too have produced no information about him. Long term residents in the John St. area remember the names being mentioned by parents and grandparents, but recall little other than that the Greiners were deemed to have been extremely wealthy.

The "sun rooms" at the front of the house are said to have been added by the Greiners.

### 1922 -1927 Fred and Jennie Marsh

For about 5 years, beginning in the fall of 1922, Canadians Fred C. and Jennie Marsh owned *Brunswick Place*. A Niagara native, born in Stamford in 1881, Marsh was in the wine making business. His father, James, had founded Stamford Park Winery, and Fred later started the Fred Marsh Winery of Niagara Falls. He was a keen golfer and in 1924 he hosted, at *Brunswick Place*, a key meeting of golf club supporters that ended the club's post-war doldrums and produced the decision to upgrade and lengthen the course. Mr Marsh was active on Stamford Township council, on school boards, as a charter member of Niagara Falls Kiwanis, and as a member of the Masonic Lodge AF & AM and the IOOF. In January 1928 the Marshes had sold both the winery and Brunswick Place and moved to Chippawa.

### 1928 -c.1961 The Letchworths

The new owners were Edward H. and Ruth Abbot Letchworth, a couple wealthy enough to enjoy their summers at Brunswick Place for 30 years. The Letchworths (with

their two sons, George and Ned, and their friends and neighbours, the Rands) made the John St. homes the centre of the summer social scene in Niagara-On-The-Lake in the 30's,40's and 50's.

Edward, a prominent Buffalo barrister, was a descendant of an old and respected Buffalo family. His directorships included Marine Midland Corporation and Marine Midland Trust Company (built by the father of his neighbour, George Rand II), New York Telephone and Dunlop Tire Corporation. As a young man, he had served two years as Deputy State Attorney General, and three as a member of the New York State Board of Law Examiners. His charitable work in Buffalo included service with the Prevention of Cruelty to Children Association, with the Buffalo Foundation, with the Community Chest and with the Kleinhans Music Hall. After he bought his Niagara summer home, he became interested in local history and, on at least one occasion, he was speaker at a meeting of the Niagara Historical Society - his topic, The Loyalists.

The depression of the 1930's appears to have had no noticeable effect on his financial position.

John St. resident, Kaye Toye, recalls that the Letchworth's hosted many great parties at *Brunswick Place*, including an especially lavish affair for their 50th wedding anniversary in 1956. Mr. Letchworth was, she recalls, a tall, distinguished looking man with thick white hair, Mrs. Letchworth a very petite lady, about five feet tall. A lover of animals, she regularly rode, side saddle, her horse "Blue Shadows" on the common, usually with her red setter Major running alongside. House servants told Mrs. Toye that Major, who was always called Matey by his mistress, slept in a twin bed, furnished with his own sheets and pillow, in her bed room. And, when Blue Shadows died she held a funeral service, complete with music and attended by family and servants, at *Brunswick Place* and buried him on the grounds. Mrs Letchworth continued to spend summers at Niagara on the Lake for a few years after her husband's death in 1958.

Town Historian Joy Ormsby has researched the history of *Brunswick Place* for the years 1792 to 1958. It has been a private property for over two centuries. Her history is reproduced, in two parts, in Notes On Niagara with her permission and with the approval of the Peterson family who have restored *Brunswick Place* as their private residence. .

Niagara Times  
March 13, 1914  
Funeral of Livingston Lansing

Died in Buffalo  
Brought to NOTL by Mich. Central Railway Train  
Bearers were Captain H. Cudubach & Messrs. R.W. Allen, J.J. Doyle, J.W. Burns, G.E.  
Frezeil and W.R. (?)

## Randwood notes



### Woodlawn/Randwood

General Henry Lansing (bought 1874)

Watts Lansing

Catharine McDonald (1905-1910)

George Rand I & II (bought 1910)

210 John Street

General Lansing bought this large home and property as a summer home in 1874 and both of his sons eventually settled permanently in the Town. He probably added the third storey to this grand building but it was the Rand family that had the largest impact on the building and the adjacent property (Rowanwood/Devonian). The Rands started repairing and altering the house immediately after purchase. New porches, a dining room, a modified tower and an east solarium were changes made to the main building. They also made numerous alterations to the landscape of the property. The family built the first large pool in town, added the outside wall, two cottages for workers, a barn, a clubhouse on Charlotte Street, stables and bought the connecting Rowanwood property to create a short-lived private park. The park space was lost with the construction of the Devonian House.

George Rand I was a self made man who rose from being the assistant cashier at the State Bank of Tonawanda in 1883 to President of the First National Bank of Tonawanda at the age of 25. He was the founder and Chairman of the Board of the Marine Trust Company at the time of his death. George Rand II continued his father's business practices and among other things built the Rand Building in Buffalo. He had a small private station on the train line that ran behind John Street. He also raised prize cattle on the property.

From "The Friendly Invasion" by Clark Bernat

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Rose Lawn -Randwood – 210 John St

At the south corner of the town are three beautiful residences which were known as Rose Lawn, Pine Hurst and Rowan Wood. In the 1800's these magnificent homes situated on spacious lawns with lovely old trees were the homes of Hon William Dickson, Dr. Melville and Robert Dickson. Hon William Dickson was a lawyer, justice of the district court and member of the Legislative Council.

The Dickson property, built circa 1825 in the grand manner of Victorian homes, was purchased by General Henry Lansing of Buffalo, New York, in 1873, as a summer residence, for the sum of \$ 18 000.00. Lansing was responsible for extensive additions to the house and it is considered likely that he added the third floor to the structure. By the 1880's the roof had been changed to the present mansard form and the 1880 tower addition extended to become a belvedere. The interior of the house has retained much of its flavour and it is easy to harken back to the era of the family summering in this lovely home.

Both of Lansing's sons eventually settled permanently in Niagara-on-the-Lake. Son Watts Lansing lived in the home at one time and Catharine McDonald, daughter of Livingston Lansing owned the property from 1905 to 1910.

George F. Rand I bought the property from Catharine McDonald, 1910, changed the name to 'Randwood' and immediately started to make his own 'mark' on the property. In the October 14, 1910 edition of "The Times" it was reported that the Rands started repairing and altering the house immediately. A new outside wall and stables built as well as the first large pool in town.

While much of the landscaping, including the planting of trees, was carried out by former owners, the Rands added a lily pond and the lovely, long curved and other enhancements as reported in the May 22, 1919 edition of 'The Times'; "George Rand ordered 10 cars of stone for making drives through his property, will employ local labour". In 1919 George Rand built 2 cottages for his employees also a barn and clubhouse on Charlotte Street. He also added space to the right of the main entrance, and to the rear of the house including the sunroom. He replaced an early coset town with the present open design. Several electric cook stoves and water heaters were also installed.

Local carpenters Thomas Gobert, Herbert Campbell, W. D. Cashey, William Richardson, William Thompson and James Laughton were employed on the estate.

The same year Rand brought gas-boring equipment on to the estate – but the drilling was to no avail.

The Rands used Randwood during the months of May through October, but for occasional visits to Niagara-on-the-Lake, the family had a lodge at the back of the property. (Calvin Rand still lives in this property) NOTE: From an article in a 1994 Buffalo newspaper (found on internet): George Rand (Calvin's brother who died in 1991) " was Chairman of Rand Capital Corporation, a venture capital firm based in Buffalo . During his lifetime he was interested in helping budding entrepreneurs in Western New York and was deeply involved in international financing as vice president for international business at Marine Midland Bank. The Rand family has had a long-standing relationship with the university (University of Buffalo). The three children of George F. and Isabel W. Rand, Calvin, George and their sister Mrs. Isabel Hunt, established a separate fund through the Buffalo Foundation known as the Rand Fund in honor of their parents. This fund also benefits activities and programs in the School of Management, such as the Rand Program on International Studies. Calvin Rand, currently an adjunct professor in the UB Department of Theater and Dance and chairman of the university's Arts Advisory Council, is also a leading supporter of the university's fine arts program and a contributor to the Poetry and Rare Books Collection in the University Libraries. At one time, he served as lecturer in philosophy here and as acting director of the Office of Cultural Affairs. He is founding chairman of the Shaw Festival Theatre and former president of the American Academy in Rome, a noted research center for artists and scholars" (NOTE – PROBABLY NOT FOR OUR EXHIBIT BUT OF INTEREST)

After making all the alterations to the property, Rand had to guarantee the Town payment of \$ 150 per year for the extra equipment needed to meet his demands for electricity.

George II drove around town in a Pierce Arrow and had a private train station that liked with the train line that went down John Street. George raised prize cattle on the property. Apparently the Rands were involved in the manufacturing of Pierce Arrow cars and in Buffalo radio station WGR (the GR in the call signal for George Rand.)

George Rand I was a self-made man, educated in Tonawanda and at Brockport State Normal School. He worked for the State Bank of Tonawanda and by age 16 had risen to the position of assistant cashier. He became President of the First National Bank of Tonawanda at the age of 25 and to Chairman of the Board of Maine Trust Company by the time of his death. George died in a plane crash while flying from Britain to France on his way to dedicate a monument. Apparently Buffalo radio station WGR (the GR in the call signal is for George Rand) had a connection to the Rand family.

At his death, son George Rand II became the owner of Randwood. George was known as a brilliant financier and was the founder of Marine Midland. George built the Rand building in Buffalo and during World War I offered to equip a regiment at this own expense. He donated \$ 50 00 to have a memorial built at Verdun.

Rand like many of the summer American visitors provided jobs for the local people, as contractors, gardeners, cooks, maids – even during the depression when jobs were scarce.

One of the highlights of the summer season was the fireworks display that George Rand put on every July 4th. People would come and watch dazzling show including the finale, the Stars and Stripes in Blazing colour.

Notes from “The Friendly Invasion” exhibition.

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### The Rand Family

A prominent family of American bankers and philanthropists, the Rand family played an important role in summer tourism in Niagara. In 1905, George F. Rand bought the Woodlawn estate on John Street, which had been the home of retired U.S. General Henry Lansing, one of the initial summer residents. Rand renamed the property Randwood and added a number of features to it, including a stone wall that can still be seen today. The local paper covered the family’s social life quite extensively and made careful note of their arrivals to and departures from the town.

As was the case with the 'summer folk' in general, residents of the town remembered the Rand family in different ways. George Rand was remembered as 'too demanding' by at least one resident who worked in the service industry. However, the 'Rand girls' were thought to be 'lovely and not a bit snooty.' Others, believed that the family had done much good for the town, particularly because they had paid 'higher taxes than any other family.' As well as being important members of the town's social scene, the family made important cultural contributions. With his friend Brian Doherty, Calvin Rand, George P. Rand's grandson, helped found the Shaw Festival Theatre.

From – "Our Story" exhibition

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No other estate in Niagara on the Lake has been owned by so many famous personages as that of Randwood on John Street.

The land upon which today's Rand Estate sits was originally part of a 160 acre tract given to Peter Russell, Receiver General and a member of the Executive Council of Upper Canada, by the Crown. There, Russell and his half-sister Elizabeth built a comfortable house on a small farm. After barely five years in Niagara, they reluctantly moved their household to York, the new capital of the province.

Russell's Crown Grant was sold in August 1798 to William Dickson. Dickson, from Dumfries, Scotland had been recruited by his cousin Robert Hamilton, the founder of Queenston, to join him in his business ventures in Canada. Dickson married Charlotte Adlam in 1796; Charlotte Street is likely named after her although it may have been named after Queen Charlotte, George III's wife.

Dickson built a house in 1809 on Russell's Crown Grant. On Dec. 10, 1813, when the town of Niagara was burned by retreating Americans, Dickson's house was torched.

Following the war, Dickson gave a portion of his land to the Town to build a Courthouse on what is now Rye Street, sold other sections, and then divided the remainder between his two oldest sons, giving each about 500 feet of frontage on John Street.

The eastern portion went to son William who in turn sold it to Capt. Robert Melville, president of the Niagara Harbour and Dock Co.; Melville built Brunswick Place which stands today at 210 John Street. Son Robert Dickson built the present brick house at 176 John Street in 1822 on the foundation of his father's house; he named it Woodlawn.

In 1873, William Dickson's youngest son Walter sold Woodlawn for \$18,000 to an American Civil War general, Henry Lansing; he was the secretary/treasurer of the Buffalo and Erie Railroad. Gen. Lansing added the third floor, the mansard roof, and a closed tower.

(continued next week)

Submitted by Museum volunteer Betsy Masson

(Photo shows the Randwood Estate circa 1900)

Last week we discussed the early history of the historic property known familiarly as Randwood. This week we discuss the 20th century history of the house.

In 1910, George Rand of Buffalo bought Woodlawn and renamed it Randwood. Rand had worked his way up in the banking business and eventually was Chairman of Marine Trust Co. Using it as a summer residence, he expanded the house, added a sunroom and opened the tower. Just after purchasing neighbouring property with the intention of making Randwood one of the show places of Canada, in Dec. 1919, George Rand died in a plane crash in England while on his first flight.

Son George Rand II had the handsome wall which runs along John and Charlotte streets and the former Michigan Central rail line built; a gazebo by the train tracks served as his private station. Interested in farming, he constructed a stables and a milk house. The first swimming pool in town was installed at Randwood and the fireworks display on July 4th was renowned. George Rand II, a banker like his father, died in 1942 and his wife Isabel eight years later; son Calvin bought out his siblings' interests in the estate and became the sole owner.

In 1971, Calvin Rand established the Niagara Institute in the Randwood home as a conference centre and retreat for executives. Five years later, the Devonian Group of Alberta purchased the house and in the next decade, numerous conferences and seminars were held there. In 1993, the property was sold to William Fox who, after nearly doubling the size of the house and adding a solarium, music room, offices, and classrooms used it as one of the sites for the School of Philosophy founded in London, England in 1936. In 2006, Randwood was purchased by artist Trisha Romance and her husband.

Submitted by Museum volunteer Betsy Masson

(This map shows the area of Niagara around the Randwood Estate in 1897. You can see the significant size of the property – identified here as Livingston Lansing's property. The property has the Michigan Central Railway line running through it. The map also identifies the houses in the Flynn and Rye Streets area as Emerald Park. This is one of the only references to this area by that name, however it is more commonly known as Irishtown.)

Articles in The Niagara Advance – Winter 2009

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## Leah Wallace Heritage Impact Assessment (2017)

Heritage Impact Assessment  
144-176 John Street – Hotel & Restaurant  
200 John Street & 588 Charlotte Street – Plan of  
Subdivision  
Town of Niagara-on-the-Lake  
October 30, 2017



Leah D. Wallace, MA MCIP RPP  
Land Use & Heritage Planning Services  
Niagara-on-the-Lake, Ontario

# LEAH D. WALLACE, MA MCIP RPP

## Land Use & Heritage Planning Services

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### Executive Summary

October 30, 2017

Leah D. Wallace, Land Use & Heritage Planning Services was retained by Two Sisters Resorts Corp. in July 2017 to complete a heritage impact assessment for the properties at 144-176 (Randwood) and 200 John Street and 588 Charlotte Street in the Town of Niagara-on-the-Lake. These properties are subject of development proposals for a hotel and restaurant complex and plan of subdivision respectively. A heritage impact assessment is required by the Town to assess the value of the heritage resources on these properties and to recommend conservation and mitigation for any identified built heritage resources and cultural landscapes.

Four site visits to the subject properties and the surrounding area were conducted in late July and early August and images were taken on each of these site visits, some of which are included in this document. Historical research was completed at the Niagara Historical Museum, the University of Guelph and online. A number of other documents and publications were also consulted.

The heritage impact assessment includes a description of the proposed developments based on plans and drawings provided by the applicant; a description of the surrounding land uses; an analysis of the existing heritage policy context; and a heritage impact analysis.

The heritage impact analysis includes a historical description of the Town and the Rand Estate; site analysis of the subject properties and adjacent properties of heritage significance, including any designated under the Ontario Heritage Act; evaluation of heritage impacts of both proposals on identified built and cultural heritage landscape resources; recommended mitigation and conservation methods and monitoring procedures; and a conclusion with respect to impacts on the built heritage resources and the cultural heritage landscape.

*This summary is an outline only. For complete information and findings the reader should examine the full report.*

Respectfully submitted



Leah D. Wallace, MA MCIP RPP

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## Introduction

This Heritage Impact Assessment is in support of a proposed zoning by-law amendment and site plan application for 144-176 John Street (Randwood) for a hotel and restaurant complex; and an application for a plan of subdivision for the properties at 200 John Street and 588 Charlotte Street. The assessment provides historical background, identifies significant heritage resources and cultural heritage landscapes and analyses the impact of the proposed developments on the protected and identified heritage resources adjacent to the subject property and its impact on cultural heritage landscape features and resources on each of these properties. A draft Statement of Significance for the Rand Estate is also provided in preparation for designation under Part IV of the Ontario Heritage Act (OHA) as required.

### Subject Lands

The three properties are located in a predominantly residential area east of King Street with frontage along both John and Charlotte Streets and consist of the remaining core of the Randwood Estate at 144-176 John Street; 588 Charlotte Street with a house and outbuildings, formerly the Randwood stables accessed by a 6.5m (21ft.) unpaved driveway; and 200 John Street, with a house, pool and outbuildings on an irregularly shaped lot with 18m (60ft.) of frontage, accessed via a long winding driveway from John Street. A portion of the property at 200 John Street is located outside of the urban area boundary.

### Surrounding Land Uses and Heritage Properties

The surrounding land uses are residential and open space. The residential properties consist of single detached dwellings of varying ages and styles as well as townhouses and condominium developments. The Randwood Estate at 144-176 John Street has a commercial and open space designation that permits a hotel, spa, restaurant and conference centre. Immediately to the north are the Commons and Butler's Barracks which are federal lands administered by Parks Canada. These lands, along with Fort George are nationally designated.

There are no designated properties adjacent to the subject properties. The closest property designated under Part IV of the Ontario Heritage Act, is the Randwood Milkhouse and Stables at 9 Weatherstone Court, which was once part of the Randwood Estate (By-law 1971-88) (**APPENDIX I**).

While it is not designated under Part IV of the OHA, the subject property at 144-176 John Street is listed on the Town's Municipal Register of Properties of Cultural Heritage Value and Interest and is subject to limited demolition control. The adjacent property to the east at 210 John Street (Brunswick Place) is also listed on the Register.

There are several other designated and listed buildings in the surrounding area. However, none are close to the subject properties nor will they be impacted by any proposed development on those properties.

## Proposal

The proposal is to construct a six (6) storey hotel building with a one storey function hall and restaurant, an outdoor restaurant patio space, a pool, a small one storey maintenance building and underground parking on the property at 144-176 John Street (Rand Estate). Randwood, the Sheets (Devonian) House, the brick pavilion, the wooden pergola, and the Coach House are also part of the hotel development. **(Figure 2)**

The properties at 200 John and 588 Charlotte Street will become the site of a subdivision consisting of 25 townhouse units, 44 semi-detached houses and 100 single-detached houses for a total of 169 units. The portion of the property at 200 John Street which lies outside of the urban area boundary does not constitute part of the subdivision. Future uses intended for the area are agricultural and stormwater management. **(Figure 1)**



Figure 1: Neighbourhood Draft Plan - Option G5



# Existing Heritage Policy Context

## The Planning Act

Part 1 of the Planning Act includes a list of matters of provincial interest. Section 2(d) states that the Minister, the council of a municipality and the Ontario Municipal Board, in carrying out their responsibilities shall have regard to:

- The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

In 2015, an additional clause, Section 2(r), was added. This clause provides for the promotion of built form that is well-designed, encourages a sense of place, and provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

## Provincial Policy Statement (PPS)

Section 2.6 of the PPS, Cultural Heritage and Archaeology, contains the following policies for both built heritage resources and cultural heritage landscapes.

Policy 2.6.1: Significant built heritage resources and significant cultural landscapes shall be conserved.

Policy 2.6.3: Planning authorities shall not permit development and site alterations on adjacent lands to protected heritage property unless the proposed development and any site alteration is evaluated and that evaluation demonstrates that the heritage attributes of the protected property will be conserved.

Policy 2.6.2: Development and site alteration on lands containing archaeological potential is not permitted unless any archaeological resources have been conserved.

The PPS provides the following definitions which assist in understanding and applying these cultural heritage and archaeology policies.

*Significant built heritage resource* means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act (OHA), or included on local, provincial and/or federal registers.

*Significant cultural landscape* means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts, villages, parks, gardens, battlefields, main streets, neighbourhoods, cemeteries, trailways, view sheds, natural areas and industrial complexes.

*Protected heritage property* means a property designated under Parts IV, V or VI of the Ontario Heritage Act.

*Adjacent* means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

*Development* means creation of a new lot, a change in land use, or the construction of buildings and structures requiring Planning Act approval.

*Site alteration* means activities such as grading, excavations and placement of fill.

*Heritage attributes* means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest. These may include the property's built elements as well as natural landforms, vegetation, water features and visual setting including views or vistas to or from a protected heritage property

*Archaeological resources* include artifacts and archaeological sites as defined under the Ontario Heritage Act. Identification and evaluation of these resources are based on archaeological fieldwork undertaken in accordance with that Act.

There is a designated (protected) property at 9 Weatherstone Court which is close to the subject properties and which was once part of the Rand Estate, as well as a national historic site (the Commons and Fort George) to the north. The properties at 144-176 and 210 John Street are both listed on the Municipal Register of Properties of Cultural Heritage Value and Interest and are considered to be of significant cultural heritage value both for the individual cultural resources on these sites and their cultural heritage landscape value. Because of this, a heritage impact assessment is required in accordance with the policies in the PPS to ensure that any significant heritage resources and cultural heritage landscapes are conserved. This requirement is affirmed in the Regional Official Plan policies.

## Growth Plan for the Greater Golden Horseshoe

The 2017 Growth Plan for the Greater Golden Horseshoe was approved by an Order in Council in May 2017 and came into effect on July 1, 2017. Heritage conservation policies in the new

Growth Plan have been enhanced to recognize the importance of cultural heritage resources for their contribution to a sense of identity; their support of a vibrant tourism industry; and their ability to attract investment based on cultural amenities. The Plan also recognizes that accommodating development growth can put pressure on these resources and that it is necessary to plan to protect and maximize the benefits of these resources for their ability to make communities unique and attractive places to live.

Policy 4.2.7 states that cultural heritage resources will be conserved to foster a sense of place and encourages municipalities to prepare archaeological management plans and cultural plans to be considered in their decisions regarding development

Policy 4.2.9(d)iii, A Culture of Conservation, promotes building conservation and adaptive reuse and recycling of construction materials. The Plan also includes definitions for Built Heritage Resource, Cultural Heritage Landscape and Cultural Heritage Resources that align with the definitions in the PPS.

## Ontario Heritage Act (OHA)

The OHA provides policies and regulations for the protection of built heritage resources, cultural landscapes such as heritage conservation districts and archaeological resources through the process of identifying, listing and designating those resources.

Part IV of the Act deals with:

- Designation of individual properties;
- Alterations that are likely to affect the heritage attributes of those properties as specified in designation by-laws;
- Requests to demolish those properties; and
- Listing designated properties on the Register

Section 27(1.2) of the Act permits Council to include property on the Register that is not designated under Part IV; but that the municipality believes to be of cultural heritage value or interest.

Part V of the Act deals with:

- Designation of heritage conservation districts;
- Preparation of heritage conservation district plans and their contents;

- Alterations to any part of the property with the exception of the interior of buildings or structures; and
- Requests to demolish buildings or structures on those properties.

Part VI of the Act deals with:

- Archaeological sites including activities of work on those sites; and
- Licensing of archaeologists.

Regulation 9/06 under the OHA provides criteria for determining cultural heritage value or interest.

### [Standards and Guidelines for Conservation of Historic Places in Canada](#)

The Standards and Guidelines for the Conservation of Historic Places in Canada were first published in 2003 and updated in 2010. These standards and guidelines, while they have no legislative authority, are a tool to help users decide how best to conserve historic places, their heritage value and character defining elements. They are used in partnership with statements of the significance of heritage resources, such as designation by-laws. Anyone carrying out an intervention that may impact the heritage values and character defining elements of a heritage resource must be mindful of the impacts on that resource.

The Standards and Guidelines indicate that it is important to know where the heritage value of the historic place lies, along with its condition, evolution over time, and past and current importance to its community.

Planning should consider all factors affecting the future of a historic place, including the needs of the owners and users, community interests, the potential for environmental impacts, available resources and external constraints. The most effective planning and design approach is an integrated one that combines heritage conservation with other planning and project goals, and engages all partners and stakeholders early in the process and throughout. For historic places, the conservation planning process also needs to be flexible to allow for discoveries and for an increased understanding along the way, such as information gained from archaeological investigations or impact assessments.

Any action or process that results in a physical change to the character-defining elements of a historic place must respect and protect its heritage value. A historic place's heritage value and character-defining elements can be identified through formal recognition, such as designation under the OHA and by nomination to the *Canadian Register of Historic Places*. In assessing a proposed alteration to a designated property or any property of cultural heritage value and

interest, Standard 11 of the Guidelines will be adhered to. The heritage value and character-defining elements of the property must be conserved when creating the new hotel on the property at 144-176 John Street. The hotel building and any other new structures will be designed to be physically and visually compatible with, subordinate to and distinguishable from the historic place. Any physical attributes of the properties at 588 Charlotte and 200 John Street will also be analyzed and assessed for their cultural heritage value and interest and the potential impact of proposed development on these attributes.

### Niagara Regional Official Plan

The Niagara Regional Official Plan, Section 10C, contains objectives and policies for the protection of built heritage resources and cultural heritage landscapes and requires a heritage impact assessment where development, site alteration and/or public works projects are proposed on, or adjacent to, a significant built heritage resource or cultural heritage landscape.

Objectives include:

- Supporting the identification and conservation of significant built heritage resources and significant cultural heritage landscapes;
- Recognizing the aesthetic, cultural and economic value of open space and parks;
- Recognizing the importance of quality design; and
- Conserving significant built heritage resources and cultural heritage landscapes within the unique community context of every site.

Policy 10.C.2.1.6 encourages local municipalities to establish cultural heritage landscape policies in their Official Plans and identify significant cultural heritage landscapes for designation in order to conserve groupings of features with heritage attributes that together form a significant type of heritage form, distinctive from that of its constituent elements or parts.

### Niagara-on-the-Lake Official Plan

The property at 144-176 John Street was the subject of official plan and zoning by-law amendments in 2011 and is designated General Commercial and Open Space (**APPENDIX II & III**). The property at 588 Charlotte Street is designated Low Density Residential. Approximately half of the property at 200 John Street within the urban area boundary is designated Low Density Residential. The remainder of the property outside of the urban area boundary is designated Agricultural and lies within the Greenbelt.

## 1. Low Density Residential

Goals and objectives of the Residential designation include:

- To ensure that new development or redevelopment is appropriately located, is compatible with surrounding land uses, retains to the greatest extent feasible desirable natural features and uses land in an efficient manner;
- To ensure that existing housing and existing residential areas are preserved and improved;
- To encourage infill residential development on vacant or under-utilized parcels of land in residential areas where such development will be compatible with existing uses and contribute to the more efficient use of sewers and water and community facilities; and
- To encourage the development of well designed and visually distinctive forms.

In the Low Density Residential designation the following uses are permitted:

- Low Density Residential uses such as single detached, semi-detached and duplex dwellings.

Secondary Uses;

- Minor open space and community facilities; and
- Medium density residential uses subject to the relevant policies of Section 9 of the Plan and a site specific amendment to the Zoning By-law, provided that the development does not significantly impact on heritage resources or result in the removal or demolition of buildings of historic or architectural significance.

General residential policies include:

- Encouraging the creation of new residential units in developed neighbourhoods through infill, conversion of existing buildings, redevelopment and the provision of accessory apartments within existing developments;
- Minimizing the impact on heritage buildings and resources;
- Being sensitive to the height, scale and architectural design of buildings in the surrounding neighbourhood.

## 2. General Commercial

The General Commercial designation specific to the Rand Estate permits the following land uses:

- Hotel;
- Spa;
- Arts and Learning Centre;
- Conference Centre; and
- Restaurant.

Other policies include:

- Designation of the property at site plan approval stage under Part IV of the OHA
- Approval of final design and plans of additions or new buildings by the Municipal Heritage Committee;
- Sufficient landscaping, buffers and setbacks to minimize impact on abutting residential uses;
- No terraces or balconies above the second storey oriented toward abutting properties;
- No negative impact on abutting properties;
- Adequate building separation from adjacent residential uses;
- Preparation of a tree preservation plan with the site plan application; and
- Preservation of the boxwood hedge adjacent to the western property line.

### **3. Open Space**

The Open Space designation specific to the Rand Estate permits the following land uses:

- Pedestrian and carriage pathways;
- Existing buildings and structures;
- Stormwater management facilities;
- Parking lots;
- Walls along John and Charlotte Streets; and
- Accessory buildings and structures.

Other policies include:

- Orienting parking areas in such a way that there is no impact on abutting residential properties;
- No negative impact on abutting properties; and
- Preparation of a tree preservation plan with the site plan application.

### **4. Growth Management Policies**

The Town will ensure that intensification and redevelopment is consistent with the heritage and character of the Built-up Area. Urban design guidelines for the Built-up Area may be prepared and used as a tool to achieve compatible built form with intensification and redevelopment.

Intensification and/or redevelopment should be consistent with:

- The existing and/or planned built form and heritage of the property and surrounding neighbourhood;
- The existing and/or planned natural heritage areas of the site and within the surrounding neighbourhood; and
- Compatible and integrate with the established character and heritage of the area.
- In circumstances where a proposed development supports the Town's intensification target but does not support the compatibility policies of the Plan, the compatibility policies will prevail.

## 5. Heritage Conservation

Section 18 of the Niagara-on-the-Lake Official Plan is devoted to objectives and policies for the conservation of cultural heritage resources in the Town.

Goal and Objective 18(2) encourages good contemporary building design by using sympathetic forms while avoiding simply copying historic architecture and restricts building design that is not compatible with existing structures or unsympathetic alterations to buildings that would detract from the character of a heritage resource.

General heritage policies include:

- encouraging the preservation of buildings and sites having historical and/or architectural values;
- designating and regulating heritage resources under appropriate legislation, including the Ontario Heritage Act, the Planning Act and the Municipal Act ;
- exercising legislative authority to control the alteration or demolition of heritage;
- ensuring through by-laws designating individual buildings or districts under the Ontario Heritage Act that no person shall demolish the whole or any part of the designated property or property in a designated area, or alter or make additional to a designated property or property in a designated area, without first receiving a permit issued by Council;
- On the advice of the Municipal Heritage Committee (MHC), regulating and guiding alterations and additions to heritage resources;
- Requesting comments from the MHC for any development within a heritage district, proposed expansion area or where it is believed that a development may impact heritage resources.
- Requiring an archaeological survey as a result of a planning application. This policy can also be found in Section 6, General Development Policies.

### Niagara-on-the-Lake Zoning By-law No. 4316-09

#### 1. 144-176 John Street

The property at 144-179 John Street (The Rand Estate) is zoned Open Space (OS-56) Holding (H) Zone and General Commercial (GC-56) Holding (H) Zone (**APPENDIX III**).

Permitted uses in the Open Space (OS-56) Holding (H) Zone include:

- Pedestrian and carriage pathways;
- Existing structures;
- Stormwater management facilities;
- Parking spaces to a maximum of 50 spaces;
- Walls along Charlotte and John Streets; and
- Accessory landscaping structures or uses.

Permitted uses in the General Commercial (GC-56) Holding (H) Zone include:

- Hotel with a maximum of 106 rooms;
- Conference centre;
- Artist studio and learning centre;
- Art gallery;
- Restaurant;
- Outdoor patio; and
- Accessory buildings and structures.

## **2. 200 John Street and 588 Charlotte Street**

The properties 588 Charlotte Street and a portion of the property at 200 John Street are zoned Residential Development (RD) Zone. Only existing uses are permitted. The Zoning By-law notes that this is a development zone that intends these lands to be developed for residential purposes at a subsequent date. At that time the appropriate zoning category will be determined through a zoning by-law.

# Heritage Impact Analysis

## Description of Proposed Development and Site Alteration

### 1. 144-176 John Street – The Rand Estate

The proposal for 144-176 John Street (The Rand Estate) presents a plan with similar uses to the one that received planning approval in 2011; but when compared, the earlier plan is less intrusive. It consists of a new six (6) storey, 22m (72ft.) hotel with a one (1) storey extension with underground parking, a restaurant and patio and open air gathering spaces to the rear. The new hotel is located in a central, relatively flat open space at the rear of the property, west of the building known as Randwood and southeast of the Devonian or Sheets House. A new one (1) storey maintenance shed is located at the rear of the property west of the hotel building. The existing buildings and structures on the site, including Randwood, the Sheets (Devonian) House, the Coach House, the wooden pergola and the brick pavilion will be retained. The exterior elevations and footprints of these buildings will not be altered with the exception of a small section of the newer rear addition to Randwood, located on the southwest side of the building and the stone steps at the front of the building, which will be removed. **(Figure 2)**

All of the original landscape features, including those designed by the firm of Dunnington-Grubb, will also be retained as will the existing concrete, brick and stone wall and entrance gates that surround the property on two (2) sides. All existing parking areas, driveways and heritage lanes will also be retained and enhanced in some areas. No new buildings or structures are proposed for the open space area at the front of the property or along the creek which runs through the estate.

### 2. 588 Charlotte and 200 John Street.

A plan of subdivision is proposed for the property at 588 Charlotte Street and for the portion of the property at 200 John Street located inside the urban area boundary. The area outside of the urban area boundary will be used for agricultural and stormwater management purposes and does not constitute part of the subdivision.

The proposed subdivision consists of 100 single dwellings generally located in the southwest quadrant of the properties; 44 semi-detached homes located in the centre of the development; and 25 townhouse units located on the east side of the development adjacent to Weatherstone Court. A .19ha (.47acre) parkette is located to the south and several buffer areas and a walkway giving access to the open greenbelt area have been provided. Access to the railway trail has also been provided via Street 'C'. There are two street entrances to the proposed subdivision, one via the existing laneway entrance to 200 John Street (Street 'A') and one via the existing driveway entrance to 588 Charlotte Street (Street 'B'). The wall that encloses the two properties to the rear along the railway trail and the wall and gates at the entrance to 200 John Street will be retained. However, a new entrance through the existing wall along the railway trail close to the Charlotte Street entrance to the subdivision will be required. **(Figure 1)**

## Historical Research and Site Analysis

### 1. History of Old Town <sup>2</sup>

#### a. Early History

The earliest settlers in the Niagara area were the Mound Builders who settled in the Niagara region around 100 AD. By 1400, Neutrals occupied the area. It is from their word, Onighiara, describing the waters flowing between Lakes Erie and Ontario, that Niagara is derived. The Iroquois defeated the Neutrals in the mid 1600's. Later Mississaugas settled on the Canadian bank of the Niagara River.

Etienne Brule was probably the first European to visit the area in 1615. Other French explorers used the Aboriginal portage around Niagara Falls for trade with the west. Beginning with LaSalle in 1679, the French constructed several buildings on the American side of the river to serve as links in the lucrative fur trade. One of these was Fort Niagara, at the mouth of the Niagara River across from Old Town.

#### b. First Settlement

The Town of Niagara was founded as a direct result of the proximity of Fort Niagara on the east bank of the Niagara River. With the arrival of many refugees from the American Revolutionary War, who were housed at Fort Niagara, the situation became desperate and Governor-General Haldimand proposed to settle the Loyalists on the rich agricultural lands on the west bank.

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<sup>2</sup> Community and Development Services, *Queen-Picton Streets Heritage Conservation District Expansion Study* (Town of Niagara-on-the-Lake, June 2016) p.7-12

In 1791, a town plan was devised by Assistant Surveyor General D.W. Smith consisting of a military grid system of four (4) acre blocks divided into one (1) acre lots. Subsequently, the lots between Queen Street and the waterfront were reduced to a half acre. The main streets, now known as Queen, King, Mary, William, Mississauga and Butler, were laid out to a width of 99 feet with 66 foot wide secondary streets. An area towards the interior was designated as the town centre; but in practice commerce gravitated towards the waterfront with housing along Queen Street. The subject properties at 144-176 and 200 John Street and 588 Charlotte Street are located outside of this military grid.

In 1792, Governor Simcoe chose the Town as the capital of Upper Canada and named it Newark. The arrival of government officials and military personnel encouraged the establishment of businesses to supply their needs. The settlers brought with them their vision of what a proper house should look like and many fine houses were erected during this period including at least one on the Randwood property. At that point, the original Town plot was enlarged to a plan of 412 lots including reserves.

Construction of Fort George began in 1796; but for reasons of security the capital was moved to York in 1797. Newark reverted to the role of county seat and the inhabitants applied to the legislature for their old name back. Niagara remained the legal name of the Town until Regional government was established in 1970.

#### *a. War of 1812-1814 and Aftermath*

The War of 1812 – 1814 brought a halt to the Town's growth. American forces occupied the Town on May 27, 1813 and on December 10, 1813, before retreating across the Niagara River, put the Town of Niagara to the torch destroying virtually all the buildings and severely damaging others including that of William Dickson, second owner of the Rand Estate.

The form of Niagara-on-the-Lake as it is today is largely the result of the reorganization which took place during the reconstruction. Except for those enterprises directly connected with shipping, businesses tended to concentrate along Queen Street. Returning residents built their houses mainly between Queen Street and the waterfront and up King Street to the new Court House, which had been built, for safety's sake, at the upper end of the street. A four (4) acre block south of Queen Street owned by D.W. Smith was sold back to the Crown and designated as a market square. In order to compensate for lands expropriated to build Fort Mississauga, a new survey was opened up east of King Street in 1826.

#### *b. The Niagara Harbour and Dock Company and the Welland Canal*

The evolution of the Town from the end of the War of 1812 -1814 onwards was affected by periods of boom and recession, with an attendant rise and fall in building construction.

Initially there was a period of rapid growth and commercial success, mainly because of Niagara's location at the end of Lake Ontario and the head of the portage route around Niagara Falls. It was also the government headquarters for the Niagara District for most of this period. Enterprises such as the Niagara Harbour and Dock Company, founded in 1831, provided many jobs and the increase in population led to new building construction.

In 1829 the first Welland Ship Canal was completed, replacing the overland portage route that was vital to the economy of Niagara. Despite this setback, the Town embarked on an era of economic diversification between 1830 and 1850. The Niagara Harbour and Dock Company built sailing vessels, steamboats, docks and warehouses around the new harbour. Industry followed, including a tannery and a brewery. Fine commercial buildings were also constructed along Queen Street at this time.

This period of prosperity ended with the construction of the second Welland Canal in the mid 1840's and the ultimate failure of the Niagara Harbour and Dock Company. The situation was compounded when the county seat was relocated from Niagara to St. Catharines, despite the construction of the third Court House in 1847, designed by the eminent Anglo-Canadian architect, William Thomas. As a result, the population of the Town declined steadily throughout the second half of the nineteenth century.

### *c. Summer Visitors*

The survival of both the lake steamer service and the railroad line, and the construction of a network of electric railways across the peninsula laid the foundation for the revival of Niagara as an important resort area in the late nineteenth century. Though it was off the beaten path, the area was known for its fresh air, moderate climate and waterfront location. Wealthy American visitors came to stay for long summer vacations resulting in the enlargement of some of the older homes to accommodate extended families and servants. Large new summer residences were also constructed with balconies, verandahs, widows' walks and large airy rooms. The Queen's Royal Niagara Hotel was constructed in what is now Queen's Royal Park. It accommodated such distinguished visitors as the Duke and Duchess of York, the future King George V and Queen Mary. Tennis courts, a lawn bowling green and a pavilion for parties and dances attested to the popularity of Niagara as a summer resort.

The Rand Estate reflects this period in Niagara's history. It was owned by wealthy Americans who invested their time and money in the property, building stables and summer residences and developing the landscape.

#### *d. The Twentieth Century*

Throughout the twentieth century, tender fruit farming and tourism have been the basis of the local economy. In the mid 1970's, encouraged by the special climate of Niagara, Inniskillin winery began to plant vinefera vines and was producing wine from those grapes by the early 1980's. The switch to vinefera grapes resulted in a burgeoning wine industry that has seen tremendous growth and has resulted in the creation of a number of estate wineries in Niagara-on-the-Lake, many of which have introduced interesting and challenging modern architectural styles to the residents of the Town.

Cultural institutions such as the Niagara Historical Society Museum, have always been important for Niagara-on-the-Lake's development. The founding of the Shaw Festival by Calvin Rand and Brian Doherty the 1960's, also saw growth of cultural institutions such as the Niagara Pumphouse Arts Centre. The festival has since grown to encompass three theatres and attracts over 300,000 patrons each year.

Tourism grew throughout the second half of the twentieth century and continues to grow in the twenty-first. The popularity of Queen Street and adjacent side streets as a visitor oriented shopping and dining area is confirmed by the crowds that flock there throughout the year.

#### **2. History of the Rand Estate <sup>3</sup>**

The property known the Rand Estate, which once constituted the properties at 144-176 John Street, 588 Charlotte Street, 200 John Street and the developments on Weatherstone and Christopher Courts, was part of the 160 acre land grant the Honourable Peter Russell received from the Crown in 1796. Russell was Simcoe's successor as Administrator for Upper Canada and President of the Executive Council.

A plan of Russell's house drawn by Robert Pilkington of the Royal Engineers shows a two (2) storey residence about 21m (70ft.) in length with various outbuildings and an orchard. The road from Fort George runs in front of the house. Joy Ormsby, in her first draft of the Niagara Institute Background History, speculates that the oldest part of the Randwood basement may be the remains of Russell's house or that of its second owner, William Dickson.

Russell sold the 160 acres to William Dickson in 1798, when, in his position as the Administrator for Upper Canada, he was obliged to relocate because the capital was moved from Niagara to York (Toronto) for reasons of security.

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<sup>3</sup> Joy Ormsby, (*Niagara Institute Property Background History, First Draft for Board of Directors*), May 1989.





Figure4: Willson Plan, 1823: Maps, Data, GIS Library, Brock University

Two plans, the Willson Plan of 1823 and the Walpole-Vavasour Plan of 1819, show buildings on the Dickson property. **(Figures 3 & 4)** This may indicate that another house and outbuildings were constructed on the property in the period after the War of 1812-1814. It is not possible to identify the purpose of these buildings, some of which may be encompassed in existing buildings on the site, such as Randwood and the Coach House.

By the 1830's William Dickson had disposed of most of his farm. In 1827 he gave each of his two eldest sons, Robert and William, a 10 acre block. William's block with 161m (528ft) of frontage on John Street was called Brunswick Place while Robert's block, with 163m (535ft.) of frontage was called the Dickson Homestead and later renamed Woodlawn. William moved to Galt in 1829 and sold Brunswick Place to Captain Melville of the Niagara Harbour and Dock Company. However, Robert and his younger brother Walter continued to add to their property. Chewett's Plan of 1831 shows Captain Melville, Robert Dickson and Walter Dickson as owners of the frontage across from the Military Reserve along what is now John Street. **(Figure 5)**

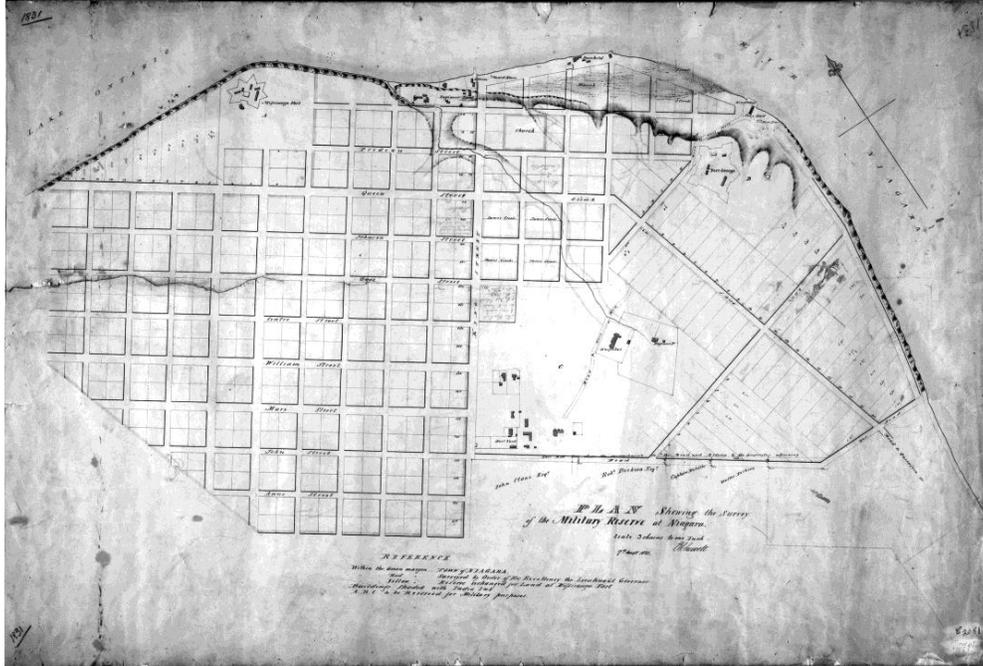


Figure5: Chewett's Plan, 1831: Maps, Data, GIS Library, Brock University

Robert Dickson was a lawyer, member of the Legislative Council and a Director of the Niagara Harbour and Dock Company. He built the house known as Woodlawn in 1822-1823. Because Robert's son died in infancy, he left his residence and lands to his wife Jane and, after her death, to his nephew William Dickson, son of Walter Dickson, owner of the neighbouring property called Rowanwood. Jane lived in the house until her death. William lived there briefly; but died in the mid-1860's. His father, Walter, who was a member of the Legislative Council and a Senator after Confederation, sold Rowanwood to Carol Robertson in 1866 and bought Woodlawn. He was the last of the Dicksons to own the John Street properties.

Walter Dickson sold the 19 hectare (47 acre) property known as Woodlawn to General Henry Livingston Lansing in 1873. Lansing was an American, born in Rome, New York in 1818. He bought the property as a summer residence; but he and his family fell in love with the Town and his sons, Livingston and Watts Sherman eventually settled permanently in Niagara and are buried at St. Mark's Anglican Church cemetery. Livingston acquired Woodlawn when his father died. It may have been Henry Lansing who made the first changes to Randwood with the addition of a third storey. However, the major changes to the building and the property occurred under the auspices of George Rand I and other members of the Rand family.

Livingston Lansing sold Woodlawn to Catherine Macdonald in 1905. George Rand I, a prominent American banker and philanthropist, bought 19 acres and the house from Catherine in 1910. In 1919 he acquired Rowanwood, reuniting the two (2) properties for the first time since the 1860's.

It was George Rand I and his son, George Rand II, who had the lasting visual impact on the cultural heritage landscape of the Rand Estate, which included, at that time, the core of the estate at 144-176 John Street as well as the properties at 200 John Street and 588 Charlotte Street. He was responsible for the landscaping and major additions to the house, which he renamed Randwood. At the time of the purchase of Rowanwood in 1919, newspaper stories indicate that he had ordered a considerable amount of stone for making driveways and had plans to build cottages, a barn and other structures on Charlotte Street.

George Rand I met an untimely death in a plane crash in 1919. His eldest son, George Rand II, was Vice-president of Marine Midland Bank and founder of the Rand Capital Corporation. He inherited the estate and was appointed legal guardian to the other three (3) surviving children, who were minors. Rand continued to renovate and add to the property. Rowanwood was demolished. A prominent family of local masons, William, John and James Elliott worked on the

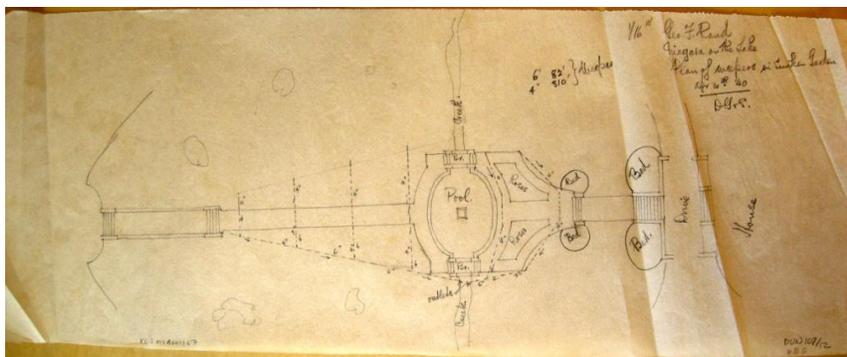


Figure 6: School of Landscape Architecture Archives, University of Guelph

landscape architects to develop a landscape plan in the late 1920's, a portion of which remains today on both the property at 144-176 John Street and at 200 John Street, including the formal vista from the entrance gates on John Street terminating in the building known as Randwood. **(Figure 6)** Changes to this house included expansion of the library and kitchen and the addition of a breakfast room and solarium.

In 1922, Evelyn Rand, one of George Rand I's children, married Colonel Henry Sheets. As a wedding gift her brother built a new house on the property now known as the Sheets or Devonian House. This charming frame house was constructed as a summer residence in the Colonial Revival style and was accessed by a separate entrance from John Street. **(Figure 7)** Calvin Rand, son of George Rand II, along with Brian Doherty, was instrumental in the creation of the Shaw Festival. He continued to use the house during the summer and settled permanently at Randwood with his family from 1961 – 1964.



Figure 7: Sheets (Devonian House)

In 1971 he leased Randwood to the Niagara Institute for seminar use in the fall, winter and spring, returning to the house during the summer. During this period he renovated the guest house located at 200 John Street and used it as his summer home. The 5.26 hectares (13 acres) containing Randwood and the Sheets House was sold to the Devonian Foundation in 1971, and continued to house the Niagara Institute. The Foundation sold the property to William and Carol Fox in 1993, who renovated the Sheets (Devonian) House and the Coach House. Randwood was also doubled in size with the addition of a solarium, music room, second kitchen and classrooms and offices. The tower was also enclosed. During this period the property was used by the School of Philosophy with classes being held in the renovated building. The Foxes then sold to the Petersons who intended to turn the property into a hotel, spa and arts centre.

From 1960 into the 1980's portions of the property were severed from the Rand Estate including 200 John Street, the site of the guest house, garage and pool and summer home of Calvin Rand; 588 Charlotte Street, site of the stables which were renovated as a home by Henry Sheets Junior; the milkhouse and gatehouses along Charlotte Street, and the developments on Weatherstone (1970's) and Christopher Courts (1980's).

### 3. Site Analysis

#### a. 144-176 John Street



Figure 8: Randwood Main Entrance Gate, John Street



Figure 9: Randwood Wall, John Street



Figure 10: Randwood Wall, Charlotte Street

This property is the core of the Rand Estate and contains the largest concentration of significant heritage resources. As previously indicated, it forms part of the original 160 acre land grant from the Crown to Peter Russell in 1796.

The property is enclosed on the north (John Street) and west (Charlotte Street) sides by a high wall which has been neglected and is overgrown with ivy and undergrowth. The wall along the front consists of concrete interspersed at regular intervals with

articulated brick pillars. There are two entrance gates. The main entrance gate accessing Randwood is wrought iron with a large central entrance and two man gates on either side. The second gate, which provides access to the Sheets House, is wooden and is in poor condition. **(Figures 8, 9 & 10)**

The wall along the west side consists of irregular stones and cobbles cemented into a concrete base to resemble dry stone construction. It extends in front of a number of Charlotte Street properties that were severed from the main estate at an earlier date, turns the corner and continues on along the north side of the railway trail, ending at the termination of the 200 John Street property line to the east.

There are three significant buildings on the property.

1. Randwood, a large brick building located on the east side of the property approximately half way between the front and rear boundaries of the lot. **(Figure 11)**
2. The Sheets or Devonian House situated on the west side of the property.



*Figure 11: Randwood, Front Facade*



*Figure 13: Coach House, North Elevation*

**(Figure 12)**

3. The Coach House situated on the southeast side of the property close to the eastern boundary of the estate. **(Figure 13)**



*Figure 12: Sheets (Devonian House) Loggia*



*Figure 15: Pergola*

The property contains two (2) other structures of interest.

1. A brick pavilion located in the centre of the property midway between Randwood and the Sheets House. **(Figure 14)**
2. A wooden pergola or gazebo located to the rear of Randwood. **(Figure 15)**



*Figure 14: Brick Pavilion*



*Figure 16: Lily Pond with Sculpture, Dunnington-Grubb*

The property is also distinguished by a naturalized picturesque landscape and a formal designed landscape located mainly in front of Randwood. This formal landscape consists of a stone walkway, lily pond and stone walls. A watercourse, One Mile Creek, runs through the property on the east side. A tributary runs horizontally behind the Sheets House and in front of Randwood, where it is incorporated in the formal landscape and pond design. (Figure 17) A meandering pathway extends throughout the property giving car access to the major buildings on the site. Two existing parking lots are situated near the entrance to Randwood and there are paved parking areas adjacent to both the Sheets (Devonian) House and Randwood. (Figure 16)



*Figure 17: The Commons from John Street*

The north side of John Street consists of a large, flat open space, punctuated by walkways, the occasional line of mature trees, and some widely dispersed buildings. This area of approximately 115 hectares (285 acres) of land is known as the Commons or Fort George Military Reserve. It is a national historic site owned by the Government of Canada and administered by Parks Canada.

Buildings on the site include Butler’s Barracks, Fort George, the recently constructed Agora-on-the-Common, and Upper Canada Lodge and the Shaw Festival Theatre, both of which lease the land from Parks Canada. (Figure 17)

On the east side of the property, separated by the driveway and 18m right-of-way at 200 John Street, is a large well-landscaped estate



*Figure 19: Brunswick Place*

property at 210 John Street , known as Brunswick Place with a two storey brick house located in the centre of the lot, various outbuildings and a tennis court. This property was once part of the original 160 acre land grant to Peter Russell and was owned by both William Dickson Senior and his son William Dickson Junior. (Figure 18 & 19)



*Figure 18: Brunswick Place from John Street*

On the west side of Charlotte Street are a number of new homes constructed throughout the second half of the 20<sup>th</sup> century. These are one and two storey houses of varying styles and size set back on spacious lots. A line of mature pine trees screens the homes from the street.



Figure 20: Christopher Street

On the east side of Charlotte Street, adjacent to the Rand Estate is the development know as Christopher Street, a cul-de-sac located behind a portion of the Rand Estate stone wall consisting of traditionally designed two storey homes on larger lots constructed in the 1980's. It is screened from the Rand Estate by a magnificent boxwood hedge of considerable height as well as mature trees included native White Pine and large cedars **(Figure 20)**.

**b. 200 John Street**

The property at 200 John Street is an irregularly shaped lot accessed by a long gravel driveway located within an 18m (60ft.) right-of-way. **(Figure 21)** It was once part of the Rand Estate and was severed from the property when Calvin Rand sold the estate to the Devonian Foundation in 1971. The majority of the property is located immediately behind the Rand Estate and is screened from that property by a



Figure21: 200 John Street, Entrance



Figure 22: Pool Pavilion

natural fence of trees and hedges. The property contains the Rand Estate garage, a remodelled guest house, the pool with its related pavilion and bath house and the tea house. **(Figure 22)**



*Figure23: Family Gate to Railway*

A Lord and Burnham greenhouse located on this property has since been dismantled and donated to the School of Restoration Arts at Willowbank. At the rear of the property is the stone wall which borders both the estate and the railway trail. The gate accessing the railway line and the gazebo where the family would wait for the electric train is



*Figure24: Gazebo*

located in this area. **(Figures 23 & 24)** Because of the secluded nature of the lot and the location of the buildings on the site, none of the structures on the property are visible from a public street or the railway trail.

*c. 588 Charlotte Street*

The property at 588 Charlotte Street is an irregularly shaped lot accessed by a long, narrow gravel driveway from Charlotte Street. It is part of the Rand Estate severed from the property when the property at 200 John Street was severed. It contains a one storey estate stable which once housed Evelyn Sheets' horses. It was converted and adapted for domestic use by the Sheets family. There is also a small outbuilding of similar design and a pool which was constructed at a later date. In front of the house is a large lawn with a distinctive linear hedge. **(Figure 25)**



*Figure25: 588 Charlotte Street, Former Stables*

The property is bordered on the east by Weatherstone Court, which was also part of the estate at one time. The Court is the site of a designated property, the former dairy and milkhouse for the estate. To the south, the lot is bordered by the stone wall adjacent to the railway trail. As with 200 John Street, the secluded nature of this property conceals the structures from view from a public street or the railway trail.

## Identification and Significance and Heritage Attributes of Properties

### 1. 144-176 John Street

The property at 144-176 John Street contains three (3) significant built heritage resources and is a cultural heritage landscape of considerable value. While it is not designated under Part IV of the OHA, it is listed on the Municipal Register of Properties of Cultural Heritage Value and Interest and is worthy of designation under the OHA.

The built heritage resources include:

- Randwood, a three (3) storey brick building with Second Empire, Italianate and Neo-classical characteristics.
- The Sheets (Devonian) House, a frame building dating from 1922 constructed in the Colonial Revival style.
- The Coach House, the earliest building on the site, with Gothic Revival details.
- The Victorian wooden gazebo and the modern brick pavilion.

#### *a. Randwood*

Peter John Stokes provided an architectural analysis of Randwood (originally called Woodlawn) in 1989.<sup>7</sup> He characterized the building as “the much amended composite of a summer residence” and indicated that its present appearance developed in two stages, the first in the late 1870’s and 1880’s, occurred during the ownership of the Lansing family who added the mansard roof and tower and the second during the ownership of the Rand family who added the Neo-classical Revival elements such as the entrance with its fanlight and sidelights and the large front porch with its brick pillars. The result is a pastiche. The mansard roof that gives the house an initial Second Empire appearance and



*Figure 26: Randwood from 200 John Street Driveway*

the tower, originally open but now enclosed, give the building in Italianate Villa features. Later brick additions to the rear were added when the home was used for institutional purposes by the Niagara Foundation and the Devonian Foundation in the late 1970’s. **(Figure 26)**

<sup>7</sup> Peter Stokes (*Randwood Report*), July 1989, p.3

In his analysis, Mr. Stokes acknowledged the “composite character” of the building and indicated that further changes to the structure would be acceptable if the earlier alterations by the Lansings and Rands were respected and if appropriate restoration and maintenance was carried out. He also indicated that some of the original features of the Dickson house might still remain in the basement; but that later improvements by the Niagara Foundation may have obscured an original below stairs kitchen with bake oven and cooking fireplace.

### *b. The Sheets (Devonian) House*



*Figure27: Sheets (Devonian) House Facade*

The Sheets (Devonian) House (*Figure 25*) was constructed in 1922 as a summer residence for the newly married Evelyn Rand and her husband, received some updates during the tenure of the Fox family and the Devonian Foundation in the 1990’s, such as the modern kitchen and upstairs bathrooms. It is Colonial Revival in style.

This style developed first in the United States and was a hybrid of New England vernacular building styles that became popular in the northeast at about the time of the 1876 American Centennial Exhibition in Philadelphia.<sup>8</sup>

Colonial Revival buildings are distinguished from the historic antecedents by the use of modern materials, a difference in scale and proportions and a mixture of old and new elements. There is often a mix of historical architectural details.

The Sheets House is a charming three (3) bay home clad in clapboard with a generous front porch with balcony and classical Chippendale style railings and paired squared columns. The gable roof is punctuated by three (3) dormer windows providing light for the attic rooms. On the west side of the building is a loggia with arched openings set on simple Tuscan columns, which houses a unique exterior brick fireplace. A conservatory or solarium with an attractive original tiled floor is lit by a series of arched openings that mirror the loggia on the west side of the building creating a balanced facade. (**Figures 27 & 28**)



*Figure28: Sheets (Devonian) House, Entrance Hallway*

<sup>8</sup> John Blumenson, (*Ontario Architecture: A Guide to Styles and Building Terms 1784 to the Present*), 1990, p.142

The ground floor principle rooms, entrance and staircase are original to the building. These are of generous size with traditional details such as the classical fireplace mantels and trim. Wainscoting detail is found in the dining room, along the staircase wall and in the upstairs hallway. The wallpaper in the dining room depicts picturesque garden scenes punctuated with depictions of garden features such as temples and pagodas. It is in excellent condition and is similar in age and style to the wallpaper in one of the downstairs rooms at Willowbank which is in a much deteriorated condition.

### c. The Coach House

The Coach House (**Figure 29**) is probably the earliest building on the site. It was altered to accommodate institutional uses. Constructed in the Gothic Revival style, probably in the 1860's or 1870's, when the property was still owned by the Dicksons, it has a steep gable roof with decorative bargeboard trim and early windows on the ground floor north elevation and the first and second floor east elevation and south elevations.



Figure29: Coach House

Alterations include modern stucco cladding, a metal standing seam roof of traditional design and large elaborate dormer windows on the north and south roofs. The entrance is through a door on the east elevation.

### d. Cultural Heritage Landscape

Any analysis of the heritage resources on the Rand Estate property cannot separate the built heritage resources from their setting which constitutes a significant cultural heritage landscape with both designed and evolving components. The Ontario Heritage Trust has defined a cultural heritage landscape as *a property or defined geographical area of cultural heritage significance that has been modified by human activities and is valued by a community. These activities or uses may be the key to the cultural value, significance and meaning of these landscapes.*<sup>9</sup>

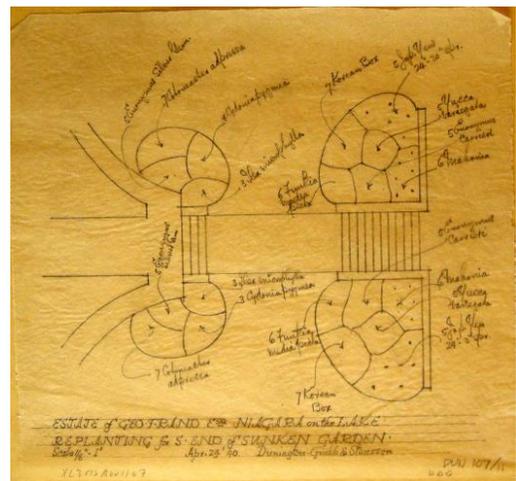


Figure30: Planting Plan, School of Landscape Architecture Archives, University of Guelph

<sup>9</sup> Ontario Heritage Trust, (*Cultural Landscapes, An Introduction*) Nov.2012.

A designed landscape is one that is clearly defined and was created intentionally by man and may include parklands, landscapes which are constructed for esthetic reasons and which are sometimes associated with monumental buildings and assemblies.<sup>10</sup>

An evolved cultural landscape results from an initial social, economic or administrative imperative and has developed its present form by association with, and in response to, its natural environment. It reflects its process of evolution and may still be continuing to evolve.<sup>11</sup>

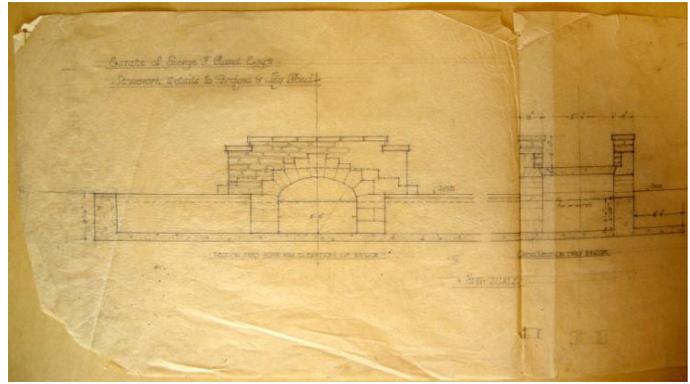


Figure 31: Bridge Design, School of Landscape Architecture Archives, University of Guelph

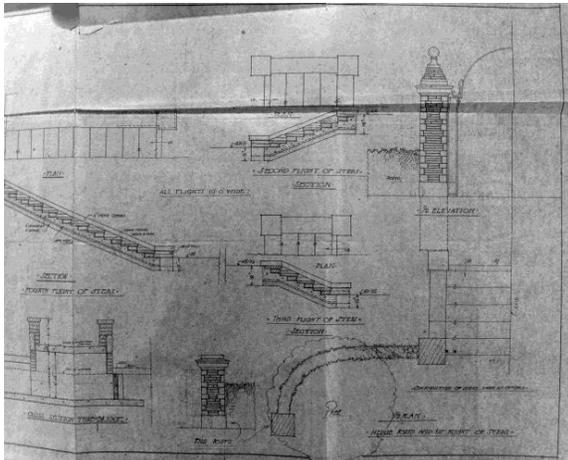


Figure 32: Wall Design, School of Landscape Architecture Archives, University of Guelph

The significant components of the Rand Estate cultural heritage landscape include the three (3) buildings noted above; the brick pavilion and wooden pergola; the brick, stone and concrete wall that surrounds and encloses the property on two sides; the evolving picturesque landscape with its mature trees and plantings, One Mile Creek; the boxwood hedge; and remnants of the designed landscape developed by the landscape architecture firm of Dunnington-Grubb, which forms the grand formal entrance and walkway that leads from the main gate terminating at a low

stone wall and Randwood house. The components of this formal landscape include the entrance gate, a formal stone path, sunken lily pond with sculpture, arched stone bridges that span a tributary of One Mile Creek and a low stone wall. Other remnants of this designed landscape are found on the property at 200 John Street. **(Figures 30, 31 & 32)**

The firm of Dunnington-Grubb was founded by Lorrie Alfreda Dunnington and Howard Grubb, both originally from England.<sup>12</sup> Lorrie Dunnington wanted to become a landscape architect; but there was little opportunity to learn the profession in England during the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. Instead, she learned her craft through private lessons and technical courses at Swanley Horticultural College and eventually opened an office in London.

<sup>10</sup> Ontario Heritage Trust, (*Cultural Landscapes, An Introduction*) Nov.2012

<sup>11</sup> Ontario Heritage Trust, (*Cultural Landscapes, An Introduction*) Nov.2012

<sup>12</sup> En.wikipedia.org (Lorrie Alfreda Dunnington\_Grubb), Retrieved Aug.2017

Dunnington met Howard Grubb, who was also a landscape architect, in 1910. They were married in 1911 and moved to Toronto where they were immediately in demand to design formal gardens for both public and private clients. Some of their commissions included Colvin Park in Buffalo, New York, Oriole Park in Toronto and Gore Park in Hamilton. Works in the Niagara area include the Rainbow Bridge Gardens and Oakes Garden Theatre in Niagara Falls. It is likely that the Rands encountered the firm when the Dunnington-Grubbs were working in Buffalo or in Niagara Falls. They also designed the garden at King's Landing on Ricardo Street. The plans for the design of the King's Landing garden are housed in the Niagara Historical Museum in Niagara-on-the-Lake. Designs for Randwood are in the archives of the School of Landscape Architecture at the University of Guelph. In 1913, the Dunnington-Grubbs founded Sheridan Nurseries on 100 acres west of Oakville, which is still a successful nursery and garden centre.

As a team, the Dunnington-Grubbs each had their areas of particular interest. Lorrie, who was a follower of Gertrude Jekyll, often planned the garden design, choosing native and imported specimen plants and trees and planning their location. A plant list for the Rand Estate formal gardens is attached. (**APPENDIX IV**). Howard often worked on the structure of the garden, including walls, walkways, pergolas and ponds. Both liked to use sculpture and other work by professional artists in their garden designs. They favoured two (2) Canada women sculptors, Frances Loring and Florence Wyle who often provided garden sculptures for clients. Further investigation would be required to determine if the sculpture in the pond at the Rand Estate is by one of these sculptors.

Lorrie Dunnington-Grubb was one of the first women in the profession of landscape architecture and the first professional female landscape architect in Canada. She was involved in the Women's Art Association of Canada, the University Women's Club and the Canadian Society of Landscape Architects, of which she became the president in 1944.

Taken in its entirety, the cultural heritage landscape of the Rand Estate is rich and varied. Its size, the number of important buildings on the property, its setting and its association with important local citizens and the firm of Dunnington-Grubb make it a significant cultural heritage resource.

## 2. 200 John Street

The property at 200 John Street was initially part of the Rand Estate. It was severed in 1971. It is not a designated property under the OHA nor is it listed on the Register of Properties of Cultural Heritage Value and Interest. The property contains the following buildings, features and structures that may potentially have cultural heritage value.

- The guest house
- The garage
- The pool, tea house and pool pavilion
- The gazebo next to the railway trail
- The stone wall at the rear

Although the guest house is one of the older buildings on the site, it has been modernized with the addition of new windows and doors and, until recently, was used as a summer residence by Calvin Rand. It is one and half storeys in height with a gable roof, asphalt shingles and a stucco exterior. **(Figure 33)**



*Figure 33: 200 John Street Guest House*

The garage is a two (2) storey gable-roofed structure with large doors for vehicle access on the north elevation. The second floor was probably accommodation for the chauffeur. The second floor level is distinguished by a string or belt course on the exterior which is finished in stucco in keeping with other outbuildings that were once part of the Rand Estate property. The windows on the second floor are 6 over 6 and appear to be original, as are the doors on the lower level with their decorative diamond pane divisions. The deep eave overhang and other features of the building give it a Craftsman style appearance. The building is not in particularly good



*Figure34: 200 John Street Garage*

shape and does not appear to be currently in use. **(Figure 34)**



Figure35: Tea House

The most interesting structures on the site are the pool pavilion (**Figures 35 & 36**) and the tea house (**Figure 37**). Drawings from the Dunnington-Grubb archives at the University of Guelph illustrate plans for both of these structures and the area around the pool. While the existing structures are not as elaborate as the designs produced by the landscape architects, and the tea house may have been moved from its original site, they are part of designed

landscape that are a significant remnant of the cultural heritage landscape that once comprised the Rand Estate .



Figure36: Pool Pavilion

The small wood and stone gazebo near the railway trail was constructed as a private waiting area for the Rand family. It is adjacent to the gate in

the stone wall that once gave access to the electric railway line. It is seriously deteriorated and overgrown with weeds and other plants. It is not part of the designed Dunnington-Grubb landscape.

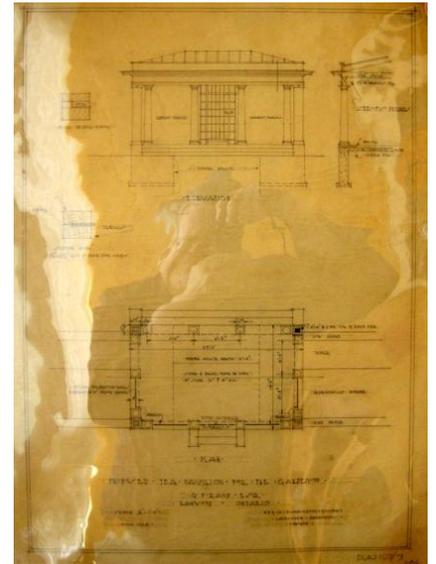


Figure37: Pool Pavilion Design, School of Landscape Architecture Archives, University of Guelph

### 3. 588 Charlotte Street



Figure38: 588 Charlotte, Former Stables

The property at 588 Charlotte Street was probably severed at the same time as 200 John Street. (**Figure 38**) It is not designated under Part IV of the OHA nor is it listed on the Municipal Register of Properties of Cultural Heritage Value and Interest. It contains the following buildings and features which may be cultural heritage resources.

- The former stables
- The stone wall at the rear of the

property

The stables on the property were converted to a one storey residence. The building is a rambling generally u-shaped structure of the same general design as other outbuildings such as the garage at 200 John Street. The building has a series gables and a small original cupola and is clad in stucco. Some of the doors have diamond paned lights similar to those on the garage at 200 John Street. The building is generally in good repair. There are no discernible designed landscape features on the site with the exception of the stone wall that runs behind the property bordering the railway trail. The wall in this area appears to be in poor condition with gaps and areas replaced by wooden fencing.

#### 4. Adjacent Properties Designated Under Part IV of the OHA and/or Listed on the Register of Cultural Heritage Value and Interest

##### a. *The Randwood Milkhouse and Stables – 9 Weatherstone Court, By-law 1971-88*



Figure39: 9 Weatherstone Court, Randwood Milkhouse & Stables

The Milkhouse and Stables (**Figure 39**) are not adjacent to the Rand Estate as it exists today. They are close to the property known as 588 Charlotte Street. The property is designated for the eclectic shingle style of the building and typifies the type of model farm buildings designed to accompany an early 20<sup>th</sup> century estate. Unique features include the conical silo and the decorative stone walls, deep eaves and diamond paned windows.

The property is also designated for its association with the prominent local citizens Peter Russell and William Dickson, although neither of them has anything to do with the construction of the building, and connections with the Lansing and Rand families of New York. They are integral to interpreting the estate and its functions as a whole. The designation applies to the entire exterior of the structure. **(APPENDIX I)**

##### b. *Brunswick Place – 210 John Street*

The property at 210 John Street is not designated under Part IV of the OHA. It is listed on the Register of Properties of Cultural Heritage Value and Interest and is worthy of designation as a significant estate lot with connections to a number of prominent citizens of Niagara-on-the-Lake.

In 1798 William Dickson bought 160 acres fronting on John Street from Peter Russell. The site of Brunswick Place was given to his second son, William. William sold the 10 acres of land to Robert Mellville, an officer at Fort George who became the first manager of the Niagara Harbour and Dock Company.

In 1830, Melville built this three-bay, two story brick house with center hall and called it Brunswick Place. Other pre-1900 owners included Robert George Dickson, William's grandson, who renamed the estate Pinehurst because it contained 200 pine trees planted by Melville, and Buffalo barrister Herbert Bissell. Twentieth-century owners Charles and Harriet Grenier (1902-22) and Edward H. and Ruth Abbott Letchworth (1928-65) refurbished and extended Melville's home. From the 1930's through the 1950's, the Rands and the Letchworths made their part of John Street a centre of the summer scene in Niagara

The red brick house sits behind an elaborate white picket fence and is centred on an extensive well- landscaped estate lot. It is separated from the Rand Estate by the laneway into the property at 200 John Street. The building has a hip roof, prominent corner chimneys and Neo-classical details such as the portico with Tuscan columns and the entrance doorway with its elliptical fanlight and sidelights. A conservatory on the west side of the building was constructed at a later date.

There are no other properties adjacent or close to the subject properties that are either designated or listed on the Municipal Register.

## 5. Other Features and Structures Related to the Rand Estate



Figure40: Christopher Street Entrance

Other features that are no longer part of the Rand Estate but are significant cultural heritage resources related to the property before it was partitioned are the continuation of the stone wall and the gate house and formal stone entrance gate, all of which are located on Charlotte Street. These features are not designated and



Figure41: Cobblestone Wall, Charlotte Street

are not listed on the Register of Properties of Cultural Heritage Value and Interest. However, they help to define and delineate the full extent and impact of the Rand Estate as it existed in the first half of the 20<sup>th</sup> century. They are an important component of the cultural heritage landscape of the Rand Estate in its heyday and, taken as a whole, are important remnants of the period when wealthy summer visitors to the Town built commodious homes on large estate lots or converted old ones and stayed for the whole season. **(Figures 40, 41 & 42)**



Figure42: Randwood Entrance from Charlotte Street

## 6. The Commons (Fort George Military Reserve)

The Commons is located directly across John Street from the Rand Estate and the laneway



Figure 43: Commons from John Street

accessing the 200 John Street property. The approximately 115 hectares (285 acres) that constitute what remains of the original 444 acres is designated as a national historic site and is protected and managed by Parks Canada. It comprises a number of national historic sites within it including Fort George, Navy Hall and Butler's Barracks, the Officers' Quarters and the archaeological remains of the Indian Council House.<sup>13</sup>

This land is viewed by many residents as a public park and maintenance of the site as open space is passionately supported

by many of the residents of the Town. While it has been considerably reduced in size over the years it is still an important green space and has been the site of many events and assemblies such as the Scout Jamboree, military encampments, parades and more recently, concerts. Views into and out of the commons are part of its significance as a heritage resource and a cultural heritage landscape. Possible impacts on this resource require evaluation. **(Figure 43)**

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<sup>13</sup> Richard D. Merritt, (*On Common Ground, The Ongoing Story of the Commons in Niagara-on-the-Lake*), Introduction

## Evaluation of Heritage Impacts

Policy 2.6.3 of the PPS states that planning authorities shall not permit development and site alterations on adjacent lands to protected heritage property unless the proposed development and any site alteration is evaluated and that evaluation demonstrates that the heritage attributes of the protected property will be conserved.

The Planning Act, the Growth Plan, 2017 and the Region of Niagara Official Plan also contain policies that encourage the conservation of significant and protected heritage properties. The Region's Official Plan includes additional policies for requiring heritage impact assessments to evaluate the impact of new development on cultural heritage resources.

*The Standards and Guidelines for the Conservation of Historic Places in Canada states that any action or process that results in a physical change to the character-defining elements of an historic place must respect and protect its heritage value.*

There are two separate development proposals associated with three subject properties all of which contain, or are adjacent to, cultural heritage resources of varying significance which could be impacted. These are:

1. A hotel and restaurant proposal associated with the Rand Estate at 144-176 John Street.
2. An application for a plan of subdivision to be constructed on the properties at 200 John Street and 588 Charlotte Street.

### **1. Impacts of Hotel and Restaurant Proposal**

#### ***a. Rand Estate***

The impact of the proposed hotel and restaurant development on the existing buildings on the Rand Estate property is not as great as the plan that was approved in 2011 which proposed large additions to both Randwood and the Coach House that had a direct effect on their appearance and cultural heritage value. The Coach House, particularly, would have been dwarfed by its later additions and would lose much of its context as a small outbuilding. The earlier plan also included two (2) new buildings in the centre of the property as well as the hotel and Coach House additions.

The new hotel building will be located on the open, flat ground at the rear of the property adjacent to the Coach House to the rear of both the Sheets (Devonian) House and Randwood.

Because this is open ground with few mature tree or shrubs, it is the best location for the new building and will have minimal impact on the mature vegetation on the site. The front façade of the hotel building will be a full 17.3m (55.77ft) from the southwest corner of Randwood and almost 50m (164ft.) from the Sheets (Devonian) House. The greatest potential impact will be on the Coach House, which is a small two storey structure. The distance between the Coach House and the hotel is 16.4m (54ft) which will help to mitigate impacts. Impacts on this building are also mitigated because it is adjacent to the one storey function hall of the hotel rather than the main six (6) storey structure.

The new hotel is a six (6) storey building and is 22m (72ft) in height (**Figure 38**). This height has potential to create impacts. However, the hotel will be constructed at the rear of the property a full 111m (364ft) from John Street and the wall that surrounds the property. It has been designed to complement rather than copy the existing building styles on the site and is articulated to reduce its massing. The simple shape will help to ensure that its potential impact on the site will be minimized and that it will reflect the continuing evolution of the property which contains buildings that are eclectic in design and reflect a number of building styles from different periods including Gothic Revival, Italianate, Second Empire and Colonial Revival. The property has also been impacted and altered over the years by renovations and additions to Randwood in the 19<sup>th</sup> and early 20<sup>th</sup> centuries and the Coach House in the 1990's; construction of the Sheets (Devonian) House in 1922; and severance of large portions of the estate in the 1960's and 1970's.

The cultural heritage landscape is the most significant cultural heritage resource on the property. The buildings on the site are a component of this resource and will be maintained and repaired or restored as required. Any new additional parking for the hotel will be underground with the exception of a small drop off area. All remnants of the Dunnington-Grubb landscape plan, including the stone walkway, lily pond, walls, perimeter gates, and stone bridges will be conserved as will the entrances and the wall surrounding the estate on John and Charlotte Street. The view into the site from the main gate along the walkway will be enhanced when repairs are made and maintenance work on the grounds and plantings is carried out.

Many components of the picturesque natural landscape, including healthy mature trees and shrubs, the boxwood hedge on the western boundary and existing paths and walkways will also be conserved and will not be impacted by the hotel development. Currently, these landscape features are in a neglected state and are in need of conservation, repair and rehabilitation. This will be carried out as part of the development program and will enhance and preserve the existing cultural heritage resources on the site.

**b. The Commons (Fort George Military Reserve)**



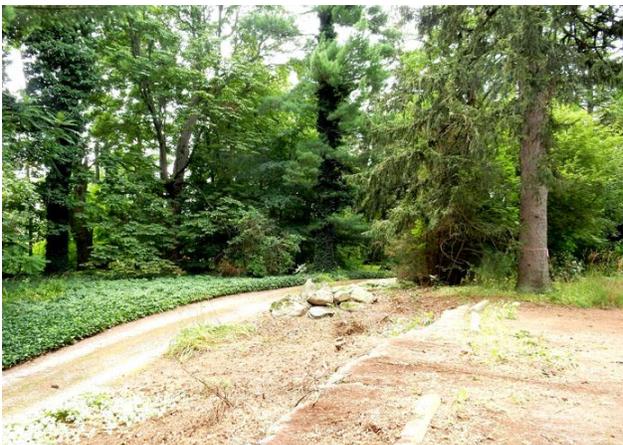
*Figure44: Randwood from Commons*

The Commons or Fort George Military Reserve is located across the road from the Rand Estate and extends from the corner of King Street along John to the Niagara River Parkway. As a national historic site it is a level one resource and the views and vistas into and out of the Commons are character-defining features that have potential to be impacted by the proposed hotel development particularly as it relates to the height of the building. **(Figure 44)**

As indicated above, the new hotel building will be located 111m (364 ft.) from John Street and the Rand Estate wall running along John Street will be retained. A visual survey of the property from the Commons along John Street confirms that the mature trees, including many coniferous species, which rise to a considerable height, coupled with retention of the wall, will successfully screen the hotel and that views of the new building will be fleeting at best, even in the winter when the deciduous trees are bare.

There will be no impacts on the views from the Rand Estate into the Commons and minimal impacts on views from the Commons into the estate. No built or archaeological cultural heritage resources will be impacted.

**c. 210 John Street (Brunswick Place)**



*Figure45: Brunswick Place from 200 John Street Driveway*

The property at 210 John Street is not designated. However, it is listed on the Register of Properties of Cultural Heritage Value and Interest and is recognized as an important property worthy of designation under the OHA. The PPS states that impacts on significant properties must be evaluated. **(Figure 45)**

Brunswick Place is a large property. The house on the lot is situated at some distance from John Street and from the boundary of the Rand Estate. It is separated from the Rand Estate by an 18m (60ft.) right-of-way access to the property at 200 John Street. This right-of-way is bordered on the east side, adjacent to 210 John Street by dense plantings of mature trees and shrubs which successfully screen the property from the Rand Estate. When the proposed subdivision is constructed, this natural buffer will be conserved and will screen Brunswick Place from the hotel development. The proposed hotel is also 80m (262ft) from the Brunswick Place property line. Impacts on 210 John Street will be minimal and will be limited to glimpses of the hotel through the trees. There will be no impacts on the built heritage resources or cultural heritage landscape of the Brunswick Place.

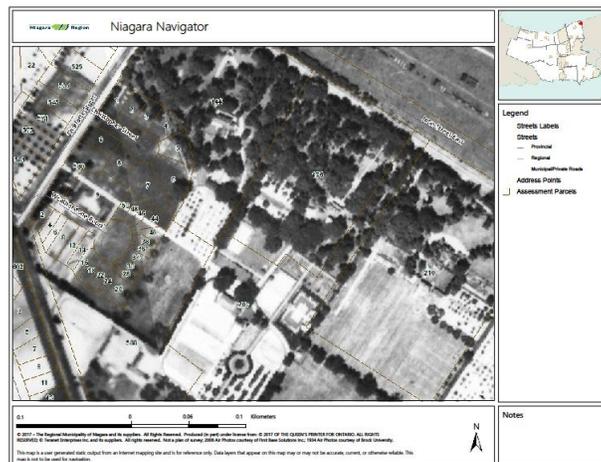
## 2. Impacts of Plan of Subdivision

### a. 588 Charlotte Street

This property is not designated and is not listed on the Register of Properties of Cultural Heritage Value and Interest. It was once part of the larger Rand Estate which also included Weatherstone Court, Christopher Court and 120 John Street. If there were remnants of the designed Dunnington-Grubb landscape on the lot, they have since disappeared.

A review of the 1934 aerial photograph of the property and surroundings does not show any formal plantings or garden structures (**Figures 46 & 47**). The wall at the rear of the property is still in existence, though it is in a deteriorated state. Some sections are shored up, some have disappeared and some have been replaced with wooden fencing. The stone fence, which is an important artifact of the cultural heritage landscape, will be retained along the rear of the property and repaired as necessary. It will not be impacted by the proposed subdivision and will be conserved, maintaining the historic appearance and views along the trail. It will continue to define the boundary and full extent of the Rand Estate before it was partitioned. Visual impact of the proposed subdivision will also be minimized.

Figure46: Aerial Photograph, 1934





*Figure47: 588 Charlotte Street landscape*

There is a building on the site, one of the former stables, which will be removed when the subdivision is approved. Stylistically the stable resembles other outbuildings on the former Rand property such as the milkhouse and stables on Weatherstone Court. It was adapted for domestic use by the Sheets family and, based on a comparison of the 1934 and the 2015 aerial photograph, the stables appear to have been the subject of a number of later additions. (Figure 40)

While the building will be demolished, other examples of the remnant estate outbuildings, including the gatehouse on Charlotte Street and the Milkhouse on Weatherstone Court are good examples of the estates outbuildings. These are visible to the public from the street. The stables have lost much of their context as outbuildings within the larger Rand Estate. Impacts can be mitigated by careful measurement and documentation of the structure before demolition. The stone wall which borders the rear of this property will be retained to define the extent of the original estate.

### *b. 200 John Street*

The property at 200 John Street is not designated and is not listed on the Register of Properties of Cultural Heritage Value and Interest. It is accessed from John Street via a long winding driveway that is heavily treed and landscaped. The driveway entrance is situated between two (2) brick pillars in the existing Rand Estate wall. The pillars are similar to the other brick pillars along the wall; but appear to be of newer construction and were probably built when the driveway access was created in the 1970's. The proposed subdivision will not impact this driveway or the appearance of the wall and entrances on John Street. The driveway and pillars will be maintained as access to the subdivision which will not be visible from John Street. It may be necessary to widen this entrance when the subdivision is approved. If this is necessary, the pillars will be dismantled and reconstructed.



*Figure48: Family Gate, detail*

The wall at the rear of the property contains the wrought iron gate that provided the Rand family with access to the electric railway line. This gate and the pillars, which are seriously deteriorated, will be retained and repaired as will the wall, screening the subdivision from the



Figure 49: Gazebo

trail and defining the full extent of the Rand Estate before it was severed in the mid 20<sup>th</sup> century. **(Figure 48)**

There is a small gazebo just inside the family gate which is reputed to have provided shelter for the Rand children when waiting for the train to take them to school. **(Figure 49)** This gazebo, with its stone base and wooden supports, is in extremely poor condition. Any attempt at repair would result in replacement of most of the wooden components. The best solution, under these circumstances, is documentation and removal.

There are four structures on the 200 John Street property.

- The guest house
- The garage
- The tea house
- The pool house

The guest house has been modernized and no longer retains any of the details that are noticeable on the garage, the stables and the milkhouse at Weatherstone Court. As such, it has lost much of its context and can be demolished if documented and photographed.



Figure50: Pool Pavilion

The garage is in poor condition and is no longer in use. It has lost both its purpose and its context within the original Rand Estate. It can be measured, documented and demolished.

The 1934 aerial photograph reveals that a number of elements of the formal garden design, which is an integral part of the cultural heritage landscape, extended south into the 200 John Street property. These have been lost and, more recently, the Lord and Burnham greenhouse was removed and taken to the School of Restoration Arts at Willowbank. Any remnants of this designed landscape that are no longer visible may be discovered and documented when archaeology is completed on the property.

Two remnants of the Dunnington-Grubb design remain, however. These are the pool and pool pavilion and the tea house **(Figure 50)**. They are significant artifacts of this landscape that should be retained. Ideally, they would be left in situ as the Standards and Guidelines recommend. However, the design of the subdivision does not provide for this and, in any case, they are in need of conservation and repair. The subdivision design includes a parkette between Street 'B' and Street 'H'. The portico from the tea house and the pool pavilion should

be moved to the parkette and interpreted by the Town of Niagara-on-the-Lake as part of the original Dunnington-Grubb landscape plan.

*c. 9 Weatherstone Court – Milkhouse and Stables*

The Milkhouse and Stables are designated under Part IV of the OHA. The PPS states that such protected properties will be conserved and that the impact of development adjacent to these properties will be assessed and mitigated.

The property is part of the Weatherstone Court residential development which is located inside the stone wall that continues along Charlotte Street and delineates the full extent of the Rand Estate before it was subdivided. As such, it is not immediately adjacent to the proposed subdivision and is buffered from it by other residential properties located on the court. The subdivision will have no impact on the Milkhouse and Stables and will not result in any changes to its current setting and surroundings.

# Mitigation and Conservation Methods

## 1. 144-176 John Street (Rand Estate)

Following are the mitigation and conservation recommendations for the proposed hotel and restaurant development application on the Rand Estate.

1. Based on the archaeological report produced by Archaeologix Inc. in 2008, additional archaeology will be completed and appropriate mitigation carried out in the locations indicated in that report to the satisfaction of the Ministry of Tourism, Culture and Sport.
2. The wall surrounding the property along John and Charlotte Streets will be maintained and restored using appropriate conservation methods. All ivy and other undergrowth will be removed. The original brick pillars will be repointed and missing or damaged bricks will be replaced using similar brick. All loose stones will be re-cemented and all missing stones will be replaced.
3. A tree preservation plan will be prepared and all healthy trees including native and specimen or ornamental trees will be retained to screen the new hotel building and to ensure that the picturesque and designed landscapes are conserved.
4. The Dunnington-Grubb designed landscape features will be retained, restored and repaired where necessary. Any existing plantings identified on the Sheridan Nurseries plant list for this property will be retained and, where possible, re-introduced into the landscape. **(APPENDIX IV)**
5. An overall landscape plan will be prepared by a qualified landscape architect.
6. The boxwood hedge will be retained and, if necessary, will be carefully moved a short distance to ensure its survival when the underground parking is constructed.
7. The exterior of Randwood will be restored, if necessary, and any repairs to the structure will be completed by qualified restoration specialists. A small portion of the western addition at the rear of the building will be removed and the courtyard landscaping will be restored and improved.
8. The wooden pergola and brick pavilion will be retained and repaired, if necessary and will remain in their current locations.
9. The Sheets (Devonian) House will be retained and the exterior will be restored and repaired, if necessary.
10. The interior ground floor rooms of the Sheets (Devonian) House and all details such as fireplaces, trim, staircase, the conservatory tiled floor and the dining room wallpaper should be retained and repaired as necessary and adapted to hotel uses.
11. The Coach House will be retained and original ground floor windows and doors will be retained and repaired. A new appropriate use for this building should be found in order to ensure its continued existence.
12. The Municipal Heritage Committee will be consulted regarding all restoration and repair of significant built heritage resources on the property.

13. The new hotel building will be designed to contrast with the existing buildings on the site. It should be clear that it is a contemporary addition to the property and that it is indicative of the constantly evolving nature of the cultural heritage landscape of the Rand Estate.
14. A Statement of Significance should be prepared for the Rand Estate and should inform the designation by-law for the site. A draft Statement of Significance for 144-176 John Street is attached. **(APPENDIX V)**
15. The Rand Estate will be designated under Part IV of the OHA at site plan stage in accordance with the policy number two (2) in Official Plan Amendment Number 51.

## 2. 200 John Street and 588 Charlotte Street

Following are the mitigation and conservation recommendations for the proposed subdivision development application on 120 John Street and 588 Charlotte Street.

1. If these properties are in the zone of archaeological potential, an archaeological survey will be prepared and any mitigation measures will be completed to the satisfaction of the Ministry of Tourism, Culture and Sport
2. The stone wall along the railway trail will be retained and repaired and restored where possible. The family gate and brick pillars will also be retained and restored.
3. If the entrance from John Street to the property at 200 John Street is widened to allow for vehicular traffic, the two entrance pillars will be carefully dismantled and reassembled in their new location. Any damage to the wall during this procedure will also be repaired.
4. All buildings that will be demolished during construction of the subdivision will be documented, photographed and measured.
5. The pool house and tea house portico will be conserved and moved to the parkette in the subdivision and incorporated, by the Town, into the park design. They will be reassembled, restored by qualified restoration specialists and appropriately interpreted as a remnant of the larger designed cultural heritage landscape of the Rand Estate.
6. The remaining features of the Rand Estate such as the wall along the railway trail and the tea house portico and pool house should be listed on the Register of Properties of Cultural Heritage Value and Interest to afford them some protection from future demolition.
7. The MHC should consider recommending to Council that the wall, stone entrance and gate house on Charlotte Street, which are not the subject of this application should also be listed on the Register of Properties of Cultural Heritage Value and Interest to afford them some protection from future demolition.

## Implementation and Monitoring

The proposed development will be assessed, reviewed and monitored by local and Regional agencies and by the MHC and the Urban Design Committee (UDC). This will ensure that the significant heritage resources, the streetscape, the wall and any archaeological resources are protected. The Municipal Heritage Committee should be actively involved in approving qualified restoration specialists employed to work on the sensitive built heritage resources on all three properties. Input and assessment by the MHC and the UDC will also ensure that the design of the proposed hotel is compatible with the surrounding heritage resources; but that it is clearly a later addition to the site and reflects the ongoing evolution of the property. A professional arborist and landscape architect should also review and monitor all landscaping work to be carried out on the property to ensure that both the designed and picturesque landscape are protected and conserved and the proposed landscape plan is completed in accordance with the approved design.

## Conclusion and Conservation Recommendations

The question is not whether there is an impact on the properties at 144-176 John Street, 200 John Street and 588 Charlotte Street, which once constituted a major portion of the Rand Estate, as a result of the hotel and subdivision development applications, since any and all changes will have an impact. The question is whether there are any undue adverse impacts resulting from the proposals.

The Rand Estate is a significant cultural heritage landscape that includes both important built heritage resources, a naturalized picturesque landscape and a formal landscape designed by the firm of Dunnington-Grubb, pioneers in the profession of landscape architecture in Canada.

The estate dates back to the founding of the Town and was owned by such significant early citizens as Peter Russell, Governor Simcoe's successor; William Dickson, a prominent lawyer and merchant and member of the Legislative Council; General Lansing, a prominent New York businessman and Civil War general, George Rand I and George Rand II, also prominent New York businessmen who made a lasting impact on the estate; and Calvin Rand, who, with Brian Doherty, founded the Shaw Festival.

The estate is indicative of the large lots and homes built by wealthy summer visitors in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. At one time it was a much more self-sufficient and cohesive entity with a milkhouse, and stables. However, over the years the estate was subdivided and the buildings on the site were adapted for other uses. Randwood became a year-round home for a time and was used for institutional purposes with dormitories and an industrial kitchen. The Coach House was used for storage and a residence for guests. The property at 200 John Street was severed and the guest house was modernized and became a home for Calvin Rand. The lot at 588 Charlotte was also severed and the stables became a home for descendants of Evelyn Sheets. Significant landscape features were removed and the Lord and Burnham greenhouse was dismantled and donated to Willowbank. Though it may be restored and rebuilt, it has lost its context as it relates to the Rand Estate.

The gatehouse and stone entryway became an enclave of private homes. The milkhouse became a private home and is now part of the small subdivision known as Weatherstone Court. Christopher Court was also developed as a small subdivision. The hotel/restaurant and the proposed subdivision mark the continued evolution of the site. Only the wall remains as an important artifact that continues to delineate and define the full extent of the Rand Estate.

Over the years there have been adverse impacts on the property at 144-176 John Street as a result of neglect. The remaining core of the Rand Estate has deteriorated over the past few years. Trees have fallen and been left to decay; the gardens are overgrown; the wall which defines the estate is covered in ivy, the concrete is cracking and the bricks and cobbles require repointing, replacement and repair; and buildings such as Randwood and the Sheets (Devonian House) are in need of repair. A good adaptive reuse, that results in minimal impact will ensure the survival and conservation of the cultural landscape and built heritage resources.

Based on an analysis of the significant heritage attributes of the property at 144-176 and the impacts of the proposed development have been assessed. Significant built heritage resources adjacent or close to the proposed development and on the Rand Estate will not be unduly or adversely impacted. Views from the Commons, a cultural landscape of national significance, into the development will be mitigated by the location of the hotel to the rear of the property and will be screened by both the existing wall and the mature trees. The proposed hotel is sensitive to the significant heritage resources on the property and has been located in an area where it will have the least impact on those resources and on the cultural heritage landscape. All heritage resources comprising this landscape, including the Dunnington-Grubb design and landscape features, the built heritage resources and the picturesque natural landscape, which have been neglected in recent years, will be repaired, restored if necessary, and conserved.

The existing buildings and structures on 200 John Street and 588 Charlotte Street have been assessed. While they were once part of the estate, they have lost much of their contextual value. Until now they have not been assessed and have not been identified by the Town as having significant heritage value. As with 144-176 John Street, there are indications of deterioration as they relate to the garage, the pool house, the tea house and the wall. Those features that have been determined in this heritage impact assessment to be of significant heritage value, such as the tea house and pool pavilion, which are remnants of the Dunnington-Grubb landscape design, and the stone wall which defines the full extent of the original Rand Estate, have been recommended for conservation, repair and, where necessary, relocation as close to their original site as possible.

## Appendices

- Appendix I Designation By-law 1971-88 – 9 Weatherstone Court
- Appendix II Official Plan Amendment 51 – Randwood Estate
- Appendix III Zoning By-law Amendment 4316T-11 – Randwood Estate
- Appendix IV Dunnington-Grubb Plant List
- Appendix V Draft Statement of Significance – The Rand Estate

CORPORATION  
OF THE  
TOWN OF NIAGARA-ON-THE-LAKE  
BY-LAW NO. 1971-88

*9 weatherstone Court*

A BY-LAW TO DESIGNATE THE PROPERTY KNOWN MUNICIPALLY AS THE RANDWOOD MILKHOUSE AND STABLES, ~~580 CHARLOTTE STREET,~~ BEING PART 2 ON PLAN 30R-5540, NIAGARA-ON-THE-LAKE AS BEING OF ARCHITECTURAL AND HISTORICAL VALUE AND INTEREST

APPENDIX I

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, Chapter 337 authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural or historic value or interest; and

WHEREAS the Council of the Corporation of the Town of Niagara-on-the-Lake has caused to be served on the owners of the lands and premises known as The Randwood Milkhouse and Stables, 580 Charlotte Street, being Part 2 on Plan 30R-5540, Niagara-on-the-Lake, and upon the Ontario Heritage Foundation, notice of intention to so designate the aforesaid real property and has caused such notice of intention to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks; and

WHEREAS the reasons for designation are set out in Schedule "B" hereto; and

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the municipality;

THEREFORE the Council of the Corporation of the Town of Niagara-on-the-Lake enacts as follows:

1. THERE is designated as being of architectural and historic value and interest the real property known as The Randwood Milkhouse and Stables, 580 Charlotte Street, being Part 2 on Plan 30R-5540, Niagara-on-the-Lake, more particularly described in Schedule "A" hereto.

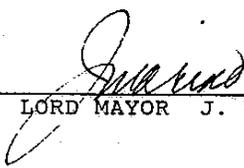
2. THE municipal solicitor is hereby authorized to cause a copy of this by-law to be registered against the property described in Schedule "A" hereto in the proper land registry office.

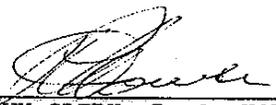
3. THE Clerk is hereby authorized to cause a copy of this by-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks.

READ A FIRST TIME THIS 26th DAY OF September, 1988

READ A SECOND TIME THIS 26th DAY OF September, 1988

READ A THIRD TIME AND PASSED THIS 26th DAY OF September, 1988

  
LORD MAYOR J. MARINO

  
TOWN CLERK R. G. HOWSE

SCHEDULE "A"

TO BY-LAW NO. 1971-88

THE RANDWOOD MILKHOUSE AND STABLES

*7 Weatherstone  
Court* ~~580~~ CHARLOTTE STREET, NIAGARA-ON-THE-LAKE

ALL AND SINGULAR those lands and premises, situate, lying and being in the Town of Niagara-on-the-Lake, formerly in the County of Lincoln, now the Regional Municipality of Niagara, Province of Ontario, and being part of Parcel Block A-1 in the Register for Section M-100,

BEING Part 2 on a Reference Plan deposited in the Registry Office for the Registry Division of Niagara North as Plan 30R-5540.

SCHEDULE "B"

TO BY-LAW NO. 1971-88

STATEMENT OF THE REASONS FOR THE PROPOSED DESIGNATION

The Randwood Milkhouse and Stables, c.1919  
580 Charlotte Street  
Part of Block A, Plan M-100, being Part 2 on Plan 30R-5540  
Town of Niagara-on-the-Lake, Ontario

The Randwood milkhouse and stables, built in 1919 for George F. Rand I, are recommended for designation for architectural and historical reasons. Eclectic in style, they are constructed in the shingle style of the time and typify model farm buildings designed to accompany an estate in the early twentieth century. The two buildings constitute a significant architectural entity and notable aspects of the co-ordinated design include the low, rambling form creating a sequestered courtyard and a silo dressed as a "chateausque" tower with a conical crown accenting one corner. The rough-cast stucco walls, combined with decorative stone treatment and flared eaves on the long, sloping roofs bridge the taste of the Romanesque and Colonial revivals as do some of the major gable windows, the gable forms and small diamond paned windows, the latter both Queen Anne Revival and Tudor precedents.

The property on which the stables and milkhouse stand is historically significant because of its association with several notable owners who were prominent in the early development of Upper Canada and the Niagara area particularly the Honourable Peter Russell, Simcoe's successor as Administrator of Upper Canada; the Honourable William Dickson; and General Henry Lansing. The stables and milkhouse are significant because of their connection with the Rand family. Mrs. Evelyn Sheets, daughter of George F. Rand I, was a keen equestrian vitally interested in the stables. A son, George F. Rand II, raised prize cattle and the milkhouse was his interest. The Rand family, noted in the United States for its business acumen and political connections, especially with President F. D. Roosevelt, was one of the most influential of those American families who spent summers in Niagara-on-the-Lake early in this century and who repaired and renovated some of the Town's fine homes.

This designation is to include the entire exterior facade of both the stables and milkhouse.

The Council of the Corporation of the Town of Niagara-on-the-Lake, in accordance with the provisions of Section 17 of the Planning Act, hereby enacts as follows:

1. Amendment Number 51 to the Town of Niagara-on-the-Lake Official Plan consisting of the attached explanatory text and schedule is hereby adopted.
2. This By-law shall come into force and take effect on the day of the final passing thereof.

Enacted and passed this 12th day of December 2011.

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LORD MAYOR  
DAVE EKE

---

TOWN CLERK  
HOLLY DOWD

Certified that the above is a true copy of By-law No. 4511-11 as enacted and passed by the Council of the Corporation of the Town of Niagara-on-the-Lake.

APPENDIX II

PART A – THE PREAMBLE -

This part does not constitute part of this amendment.

PART B – THE AMENDMENT -

This part consists of the following text and schedule, which constitutes Official Plan Amendment No. 51 to the Town of Niagara-on-the-Lake Official Plan approved on December 12, 2011.

PART C – THE APPENDICES -

Does not constitute part of this amendment. The appendices include a copy of the public meetings held in accordance with this amendment.

## **PART A – THE PREAMBLE**

The preamble does not constitute part of this amendment.

### **Purpose**

The purpose of this amendment is to redesignate lands at 144 & 176 John Street to a site specific General Commercial and site specific Open Space designation.

The northern boundary of the property fronts onto John Street, with Charlotte Street abutting the western edge of the property. The south west boundary of the property abuts a residential subdivision. To the east is a house that was related to Randwood but was subdivided and separated from the Randwood Estate by a thick coniferous hedge and a right-of-way. The property is bisected by One Mile Creek which runs generally north south through the property on the west side. The creek splits at the rear of the properties on Christopher Court and a tributary of the creek runs east/west through the estate.

Although the Randwood Property lies outside the national heritage district of the Old Town, Randwood has been listed on the Town's heritage register. The property will undergo designation under Part IV of the Ontario Heritage Act at the site plan application stage, once the details of the development have been determined.

The existing designations of Established Residential and Conservation reflect the single detached dwelling on the property and the natural feature of One Mile Creek and the tributary of One Mile Creek that transect the property.

The proposed designations will establish the policy direction to permit an inn, a spa, a conference centre, and an arts and learning centre. One of the significant features of the property is the size of the lot and the heritage features of the buildings as well as the designed landscape features.

### **Basis**

The basis of this amendment is as follows.

1. The subject property is an expansive 13 acre estate located near the south eastern boundary of Old Town within Niagara-on-the-Lake and contains a number of buildings including the main house (known as Randwood), the Devonian House and the Coach House.
2. The proposal will ensure that the significant heritage and cultural landscaped features are maintained or minimally impacted while keeping the large estate lot as one property versus other possible proposals which could allow for this significant property to be subdivided into small pieces and would result in the loss of one of the few remaining estates in Niagara-on-the-Lake.
3. In recognition of the heritage value of the property, the applicant included a Heritage Impact Assessment. The consultants completed an inventory and analysis of the property and conducted historical research in order to determine the important heritage attributes and elements of the site and their significance with regard to events and movements that influenced local and national history. The report concluded that the majority of the proposed development is sensitive to the context and layout of the property and avoids demolition of any significant heritage assets on the site including the designed landscape features. The Heritage Impact Assessment supports the efforts of the proposed redevelopment to protect the heritage resources and landscape on the site while providing a viable new use for the heritage asset that will preserve and conserve it into the future.

Page 2 – Part A – The Preamble

4. The Heritage Impact Assessment provides mitigative measures to protect views, the cultural landscape, and the existing buildings on the site. The policies of this amendment will require that these measures be implemented.
5. A needs assessment and marketing study was submitted as part of the application and the anticipated economic benefit of the proposed development is expected to be significant for the Town of Niagara-on-the-Lake and the Niagara Region as a whole.
6. The needs assessment and marketing study concluded that the 100-room Inn and arts and learning centre will not negatively impact the overall market in the long term but that the conference facilities will be important in making the project economically viable as ultimately, over 40% of the demand will be for the conference or special events facilities.
7. A peer review of the Randwood Estate proposal was conducted by Brook McIlroy Inc. to provide some further urban design recommendations given the significance of the property and the scale of the proposal. The recommendations include reducing the massing of the buildings especially any long walls as this is not proportional with the existing buildings, increasing the side and rear yard setbacks, heights should not exceed 3-storeys above grade, and terraces on the upper-storeys of buildings should face the interior of the property and should not be overlooking neighbouring properties.
8. This amendment will be implemented by a site specific zoning by-law amendment and a site plan agreement.

## **PART B – THE AMENDMENT**

All of this part of the document entitled 'Part B – The Amendment' consisting of the following text and Schedule 1 constitutes Amendment Number 51 to the Official Plan of the Town of Niagara-on-the-Lake.

### **Details of the Amendment**

- i. That Schedule "B" Land Use Plan – Niagara/Old Town is amended by Schedule "1" attached hereto and forming part of this amendment.
- ii. That Part 3 "Land Use Policies," Section 10: Commercial is amended by adding new policies titled "General Commercial (Randwood Estate)" after "Regional Commercial (Niagara-on-the-Green)" as follows:

#### **General Commercial (Randwood Estate)**

1. In the General Commercial (Randwood Estate) designation the following land uses shall be permitted:

<b>Main Uses</b>	Hotel Spa Arts and Learning Centre Conference Centre Restaurant
------------------	---

**Secondary Uses** Accessory buildings and structures.

2. At site plan approval stage, the property shall be designated under Part IV of the Ontario Heritage Act.
3. The final design and plans of any additions or new buildings shall be subject to approval by the Municipal Heritage Committee.
4. Sufficient landscaping, buffers, and setbacks shall be provided to minimize the impact on abutting residential uses.
5. No terraces or balconies above the second storey shall be oriented toward abutting properties. Any terraces or balconies shall be oriented toward the interior of the property.
6. All access to parking areas shall be oriented or designed in such a way that there shall be no impact of vehicular lights on abutting residential properties.
7. There shall be no negative impact on abutting properties as a result of lighting in parking lots, driveways, walkways, or other outdoor recreation and amenity spaces.
8. There shall be adequate building separation from adjacent residential uses.
9. A tree preservation plan prepared by a qualified professional and shall be submitted with a site plan application.
10. The boxwood hedge within the buffer area adjacent to the western property line shall remain and be properly protected and preserved to insure its continued growth. At site plan stage measures to mitigate construction impacts to protect the boxwood hedge will be required.

- iii. That Part 3 Land Use Policies, Section 15: Open Space and Community Facilities is amended by adding new policies titled “Open Space (Randwood Estate)” after “Open Space and Community Facilities” as follows:

**Open Space (Randwood Estate)**

1. In the Open Space (Randwood Estate) designation the following land uses shall be permitted:

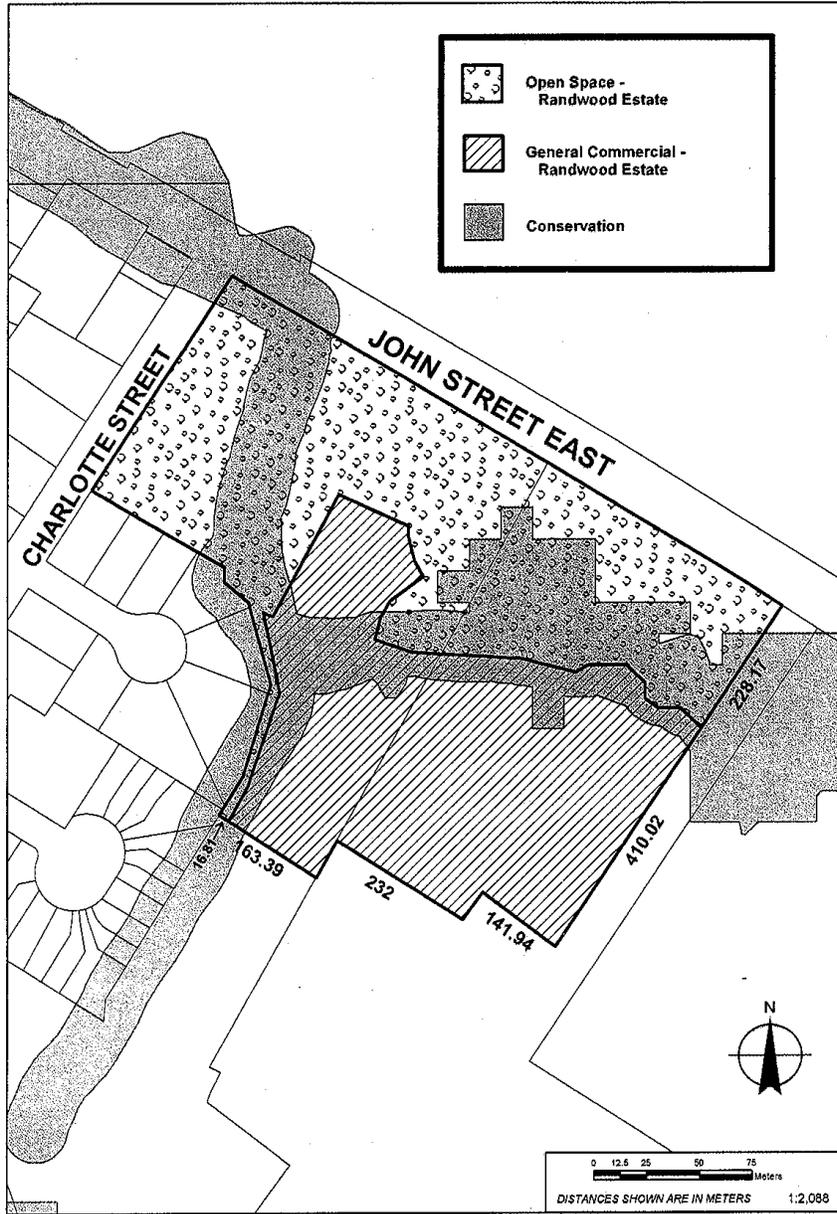
**Main Uses** Pedestrian and carriage pathways  
Existing buildings and structures  
Stormwater management facilities  
Parking lots  
Walls along John and Charlotte Streets  
Accessory buildings and structures to main uses in the General Commercial (Randwood Estate) designation.

2. All parking areas shall be oriented or designed in such a way that there shall be no impact of vehicular lights on abutting residential properties.
3. There shall be no negative impact on abutting properties as a result of lighting in parking lots, driveways, walkways, or other outdoor recreation and amenity spaces or accessory buildings or structures..
4. A tree preservation plan prepared by a qualified professional and shall be submitted with a site plan application.

## **PART C – THE APPENDICES**

The following appendices do not constitute part of Amendment Number 51 but are included as information supporting the amendment.

- |              |  |
|--------------|--|
| Appendix I   | Location Map   |
| Appendix II  | Notice of Public Meeting – September 26, 2011 & November 28, 2011                      |
| Appendix III | Minutes of Public Meeting – September 26, 2011 & November 26, 2011                     |
| Appendix IV  | Planning Justification Report, Randwood Estate Development, CDS-11-099 and CDS-11-099A |



**SCHEDULE ATTACHED TO OFFICIAL PLAN AMENDMENT #51**

LORD MAYOR  
DAVE EKE

TOWN CLERK  
HOLLY DOWD

# THE CORPORATION

APPENDIX III

## OF THE

### TOWN OF NIAGARA-ON-THE-LAKE

#### BY-LAW NO. 4316T-11

(Randwood Estate)

Roll No. 262701000200900

Roll No. 262701000200800

A By-Law pursuant to Section 34 and 36 of the Ontario Planning Act to amend By-Law No 4316-09, as amended, entitled a by-law to regulate the use of land and the character, location and use of buildings and structures thereon.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE ENACTS AS FOLLOWS:

1. Schedule "A-2" of By-Law No. 4316-09, as amended, be further amended by rezoning those lands shown on Schedule "1" and Schedule "2" attached hereto and forming part of this by-law to the identified site specific zones.
2. Notwithstanding the provisions of the "General Commercial (GC) Zone" of the Old Town Community Zoning District, the following provisions shall apply to the lands shown on Schedule "1" and Schedule "2" attached hereto identified as General Commercial – Randwood Estate (GC-56) Holding (H) Zone and Open Space – Randwood Estate (OS-56) Holding (H) Zone.

General Commercial – Randwood Estate (GC-56) Holding (H) Zone

2.1 Permitted Uses:

- a) A hotel with a maximum of one hundred and six (106) rooms
- b) A conference centre
- c) An artist studio(s) and learning centre
- d) An art gallery
- e) A restaurant
- f) An outdoor patio
- g) Accessory buildings and structures

2.2 Zone Requirements:

- a) Minimum lot frontage.....300 m (984.2 ft)
- b) Minimum lot depth.....120 m (393.7 ft)

- c) Minimum landscaped open space..... 50%
- d) Maximum lot coverage..... 12%
- e) Minimum main building setbacks in accordance with Schedule "2" attached.
- f) Minimum vehicular access ramp setback.....30.48m (100 ft.)
- g) Maximum building height.....17.35m (57 ft)
- h) Maximum seating capacity for restaurant.....200 seats
- i) Maximum number of rooms for the hotel..... 106
- j) Maximum ground floor area of all buildings in the commercial zone.....4181 m<sup>2</sup> (45000 ft<sup>2</sup>)
- k) Maximum floor area of spa .....185.8m<sup>2</sup> (2000 ft<sup>2</sup>)
- l) Maximum ground floor area of Arts & Learning Centre ..... 1250m<sup>2</sup> (13,463 ft<sup>2</sup>)
- m) Devonian House:

No other commercial use shall be permitted except for a maximum of 8 guest rooms associated as part of the hotel use.

3. That Section 5—Definitions of By-Law No. 4316-09, as amended, be further amended by adding the following definition as Section 5.104A as follows  
 "CONFERENCE CENTRE means a building used for social or cultural activities, hosting of banquets or receptions and meetings. Facilities may include meeting rooms, auditoriums, kitchen facilities, banquet rooms and other compatible accessory facilities contained within the building."

4. Notwithstanding the provisions of the "Open Space (OS) Zone" for the Old Town Community Zoning District only the following uses shall apply to those lands identified as Open Space – Randwood Estate (OS-56) Holding (H) Zone on Schedule "1" attached hereto:

Open Space – Randwood Estate (OS-56) Holding (H) Zone

4.1 Permitted Uses:

- Pedestrian and carriage pathways
- Existing structures
- Stormwater management facilities
- Parking spaces to a maximum of 50 spaces
- Walls along John and Charlotte Streets
- Accessory landscaping structures or uses

4.2 Zone Requirements

A minimum setback for accessory structures shall be 7.5m (24.6ft) from all property lines.

5. Notwithstanding Section 6.39 Parking Space Requirements of By-Law No. 4316-09, as amended; a minimum of 250 parking spaces shall be required.
6. No amplified music or public address system shall be utilized outdoors.

7. All other provisions of Zoning By-Law 4316-09, as amended, shall continue to apply to the lands shown on the attached Schedule.
8. The Holding (H) Zone shall not be lifted from the General Commercial – Randwood Estate (GC-56) Holding (H) Zone and Open Space – Randwood Estate (OS-56) Holding (H) Zone until such time as applicant has received site plan approval from the Town of Niagara-on-the-Lake.

If no notice of objection is filed with the Clerk within the time provided, this By-Law shall come into force and take effect on the date of passing by the Council of the Corporation of the Town of Niagara-On-The-Lake in accordance with Section 34 and 36 of the Planning Act, R. S. O. 1990.

If a notice of objection is filed with the Clerk, this By-Law shall become effective on the date of passing hereof, subject to receiving the approval of the Ontario Municipal Board.

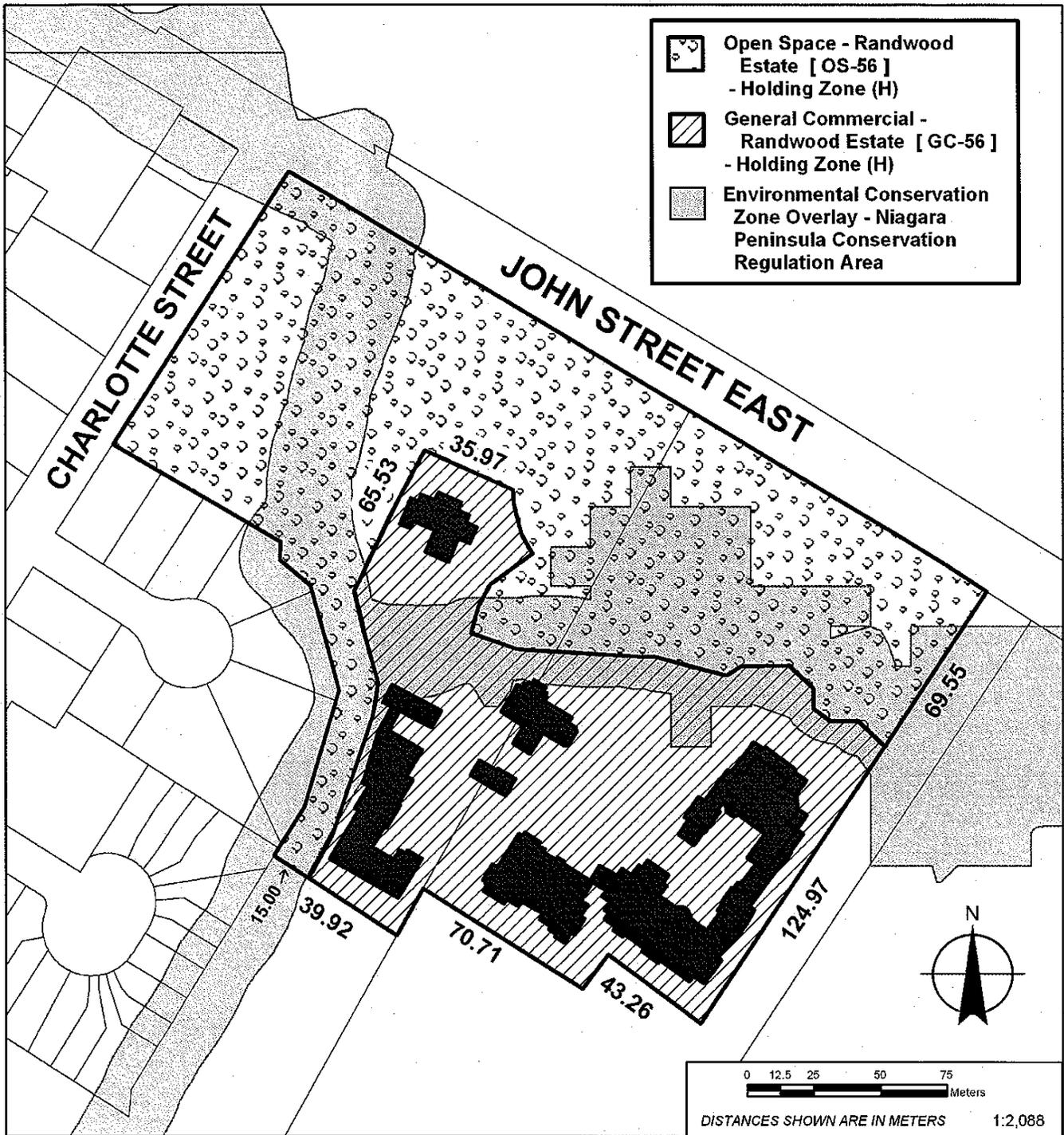
**READ A FIRST, SECOND AND THIRD TIME THIS 12th DAY OF DECEMBER, 2011.**



LORD MAYOR DAVE EKE



TOWN CLERK HOLLY DOWD



**SCHEDULE 1**

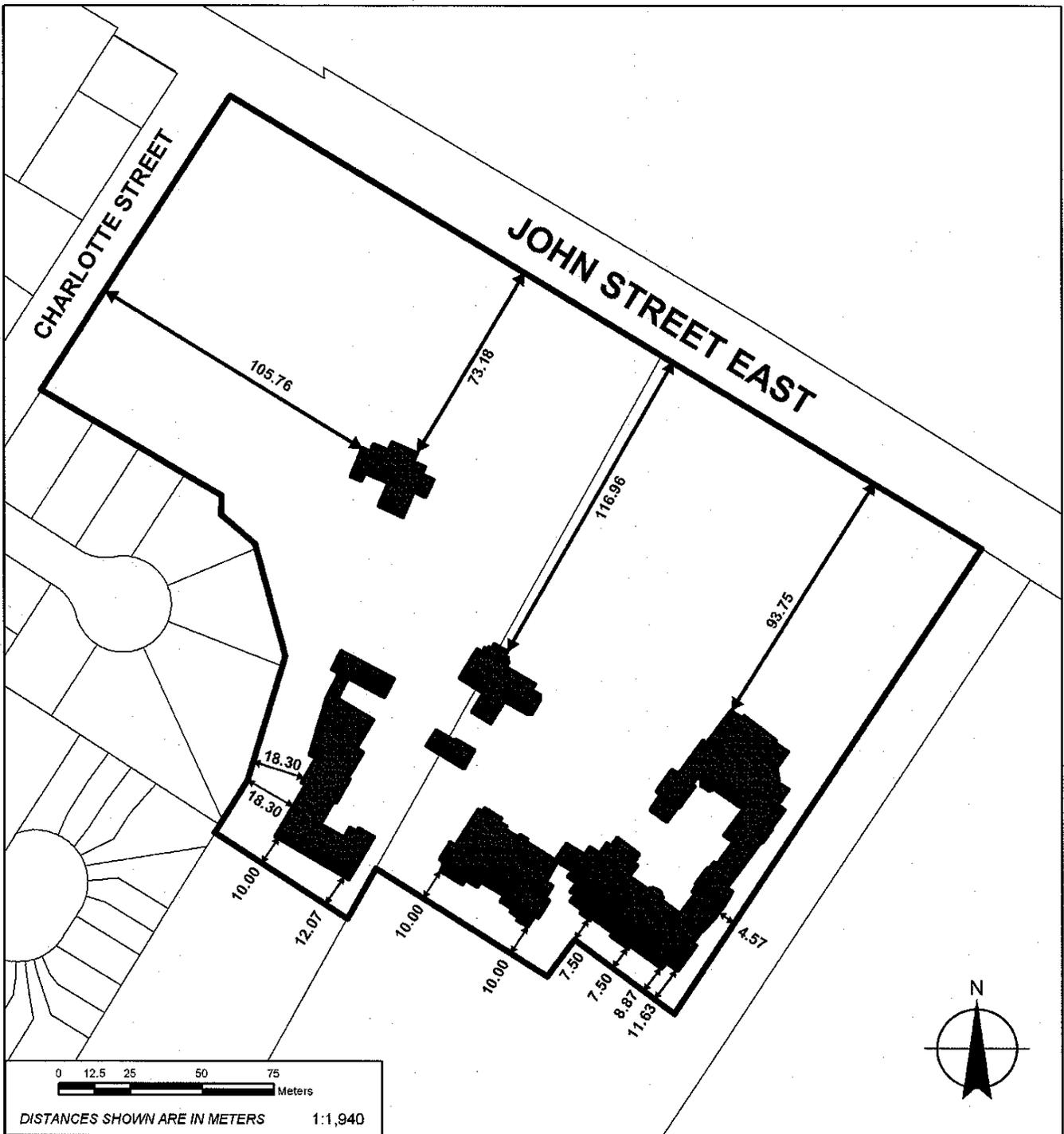
**BY-LAW 4316T-11 BEING AN AMENDMENT TO SCHEDULE "A-2" OF ZONING BY-LAW 4316-09, AS AMENDED, OF THE TOWN OF NIAGARA-ON-THE-LAKE, AS PASSED ON THE 12th DAY OF DECEMBER, 2011.**

*[Signature]*

LORD MAYOR  
DAVE EKE

*[Signature]*

TOWN CLERK  
HOLLY DOWD



**SCHEDULE 2**

**BY-LAW 4316T-11 BEING AN AMENDMENT TO SCHEDULE "A-2" OF ZONING BY-LAW 4316-09, AS AMENDED, OF THE TOWN OF NIAGARA-ON-THE-LAKE, AS PASSED ON THE 12th DAY OF DECEMBER, 2011.**

*(Signature of Dave Eke)*

**LORD MAYOR  
DAVE EKE**

*(Signature of Holly Dowd)*

**TOWN CLERK  
HOLLY DOWD**

**Plant Material Utilized by the Dunnington-Grubbs as Listed in Historic Sheridan Nurseries Catalogues (1921-1937)**

<b>Deciduous Trees</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Acer campestre</i>	Hedge Maple
<i>Acer ginnala</i>	Amur Maple
<i>Acer palmatum dissectum 'Seiru'</i>	Green Dragon Japanese Maple*
<i>Acer tartaricum</i>	Tartarian Maple
<i>Betula papyrifera</i>	Paper Birch
<i>Catalpa speciosa</i>	Western Catalpa
<i>Cercis canadensis</i>	Eastern Redbud
<i>Cladrastis lutea</i>	Yellow Wood
<i>Fagus sylvatica purpurea</i>	Purple Beech
<i>Ginkgo biloba</i>	Ginkgo
<i>Malus floribunda</i>	Japanese Crab Apple
<i>Malus sargentii 'Rosea'</i>	Pink Sargent Crab Apple*
<i>Platanus x acerifolia 'Bloodgood'</i>	London Plane Tree*
<i>Quercus alba</i>	White Oak
<i>Quercus coccinea</i>	Scarlet Oak
<i>Quercus rubra</i>	Red Oak
<i>Sophora japonica 'Regent'</i>	Japanese Pagoda Tree*
<i>Sorbus aucuparia</i>	European Mountain Ash

<b>Coniferous Trees</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Abies balsamea</i>	Balsam Fir
<i>Abies concolor</i>	White Fir
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Picea glauca</i>	White Spruce*
<i>Picea pungens 'Glauca'</i>	Colorado Blue Spruce
<i>Pinus cembra</i>	Swiss Stone Pine
<i>Pinus nigra</i>	Austrian Pine
<i>Pinus sylvestris</i>	Scott's Pine
<i>Thuja occidentalis</i>	White Cedar
<i>Thuja occidentalis 'Wareana'</i>	Siberian Cedar
<i>Tsuga canadensis</i>	Canadian Hemlock

APPENDIX IV

<b>Deciduous Shrubs</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry*
<i>Berberis thunbergii</i> 'Bailone'	Ruby Carousel Barberry*
<i>Buddleia davidii</i> 'Ile de France'	Ile de France Butterfly Bush
<i>Caragana aborescens</i>	Siberian Pea Shrub
<i>Chionanthus virginicus</i>	Fringetree
<i>Cornus alba siberica</i>	Redbark Dogwood
<i>Cotoneaster divaricatus</i>	Spreading Cotoneaster
<i>Dutzia gracilis</i>	Slender Dutzia
<i>Euonymus alatus</i>	Burning Bush
<i>Forsythia x intermedia</i> 'Spectabilis'	Showy Forsythia
<i>Forsythia suspensa</i>	Weeping Forsythia
<i>Hydrangea arborescens</i> 'Grandiflora'	Snowhill Hydrangea
<i>Hydrangea paniculata</i> 'Grandiflora'	Peegee Hydrangea
<i>Kerria japonica</i> 'Pleniflora'	Japanese Rose
<i>Ligustrum amurense</i>	Amur Privet
<i>Ligustrum vulgare</i>	Common Privet
<i>Lonicera morrowii</i>	Honeysuckle
<i>Magnolia x soulangiana</i>	Saucer Magnolia
<i>Philadelphus coronarius</i> 'Aurens'	Golden Mock Orange
<i>Prunus triloba</i> var. <i>multiplex</i>	Flowering Almond*
<i>Ribes alpinum</i>	Alpine Current
<i>Ribes aureum</i>	Golden Current
<i>Rosa rugosa alba</i>	White Japanese Rose
<i>Spiraea tomentosa</i>	Steeplebush
<i>Spiraea trichocarpa</i>	Korean spirea
<i>Spiraea x vanhouttei</i>	Bridal Wreath Spirea
<i>Symphoricarpos x chenaulti</i> 'Hancock'	Hancock Snowberry*
<i>Syringa vulgaris</i>	Common Lilac
<i>Syringa</i> 'Belle de Nancy'	Belle de Nancy Lilac
<i>Syringa</i> 'Madame Lemoine'	Madame Lemoine Lilac
<i>Viburnum lantana</i>	Wayfaring Tree
<i>Viburnum lentago</i>	Nannyberry
<i>Viburnum opulus</i> 'Nanum'	Hedge Viburnum
<i>Viburnum opulus</i> 'Sterile'	European Snowball Viburnum
<i>Viburnum plicatum</i> f. <i>tomentosum</i> 'Summer Snowflake'	Japanese Summer Snowflake Viburnum*
<i>Wiegelia florida</i> 'Purpurea'	Purple Weigella*

<b>Broadleaf Evergreen Shrubs</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Euonymus fortunei</i> var.	Winter Creeper Varieties*
<i>Cotoneaster horizontalis</i>	Rock Spray Cotoneaster
<i>Mahonia aquifolium</i>	Oregon Grape Holly

<b>Coniferous Shrubs</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Juniperus chinensis sargentii</i> 'Glauca'	Blue Sargent Juniper*
<i>Juniperus chinensis sargentii</i> 'Viridis'	Green Sargent Juniper*
<i>Juniperus sabina</i>	Savin Juniper
<i>Juniperus squamata</i> 'Blue Carpet'	Blue Carpet Juniper*
<i>Pinus mugo mugo</i> var. <i>pumilo</i>	Mugho Pine*
<i>Taxus cuspidata</i>	Japanese Yew

<b>Perennials</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Achillea millefolium</i> var.	Millefolium Yarrow Varieties
<i>Alyssum saxatile</i> 'Compacta'	Basket of Gold Alyssum
<i>Anemone</i> x 'Queen Charlotte'	Queen Charlotte Anemone
<i>Anemone</i> 'Whirlwind'	Whirlwind Anemone
<i>Aquilegia vulgaris</i> var.	Columbine Varieties
<i>Arabis</i> sp.	Rock Cress Species*
<i>Armeria maritime</i> var.	Sea Thrift Varieties
<i>Astilbe</i> sp.	Astilbe Species
<i>Baltonia asteroides</i> 'Nana'	False Starwort*
<i>Campanula persicifolia</i> var.	Bellflower Varieties
<i>Centura dealbata</i>	Persian Cornflower
<i>Centura Montana</i> var.	Cornflower Varieties
<i>Coreopsis</i> sp.	Coreopsis Species
<i>Delphinium</i> sp.	Delphinium Species
<i>Dianthus barbatus</i> var.	Sweet William Varieties
<i>Dicentra spectabilis</i>	Bleeding Heart
<i>Digitalis</i> sp.	Foxglove Species
<i>Echinops rito</i>	Globe Thistle
<i>Echinacea purpurea</i>	Purple Cone Flower
<i>Eryngium planum</i> var.	Sea Holly Varieties
<i>Gaillardia grandiflora</i> var.	Blanket Flower Varieties
<i>Geranium pratense</i> 'Dark Reiter'	Dark Lord Geranium*
<i>Gypsophila paniculata</i>	Baby's Breath
<i>Iberis sempervirens</i>	Candytuft

<i>Incarvillea delavayi</i>	Hardy Gloxinia
<i>Iris germanica</i>	Bearded Iris
<i>Iris pseudoacorus</i>	Yellow Flag Iris
<i>Iris pumila</i>	Dwarf Bearded Iris
<i>Iris siberica</i>	Siberian Iris
<i>Lathyrus latifolius</i>	Sweet Pea
<i>Litaris spicata</i>	Blazing Star
<i>Lupinus poppyphyllus</i> var.	Lupine Varieties
<i>lychnis chalcedonica</i>	Maltese Cross Champion
<i>Monarda didyma</i> var.	Bergamot Varieties
<i>Nepeta mussini</i>	Catmint
<i>Paeonia</i> sp.	Peony Species
<i>Papaver alpinum</i>	Alpine Poppy
<i>Papaver orientale</i> var.	Oriental Poppy Varieties
<i>Penstemon barbatus</i> var.	Beard Tongue Varieties
<i>Phlox divaricata</i> var.	Phlox Varieties
<i>Phlox subulata</i>	Moss Pink
<i>Rudbeckia</i> sp.	Cone Flower Species
<i>Saponaria ocymoides</i>	Rock Soapwort
<i>Thalictrum aquilegifolium</i>	Columbine Meadow Rue
<i>Thymus serpyllum</i>	Mother of Thyme
<i>Veronica incana</i>	Silver Speedwell
<i>Vinca minor</i>	Periwinkle
<i>Yucca filamentosa</i>	Yucca

<b>Vines</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Akebia quinata</i>	Fiveleaf Akebia
<i>Clematis paniculata</i>	Sweet Autumn Clematis
<i>Clematis virginiana</i>	Virgin's Bower
<i>Hedera helix</i>	English Ivy
<i>Lonicera x brownie</i> 'Dropmore Scarlet'	Dropmore Scarlet Honeysuckle*
<i>Wisteria sinensis</i> var.	Wisteria Varieties

\* Denotes a modern species or variety of heritage plant material

## **Appendix V – Draft Statement of Significance – The Rand Estate – 144-176 John Street, Niagara-on-the-Lake**

The Rand Estate is a 5 hectare estate lot located on the south side of John Street between Charlotte Street and the Niagara River Parkway. It is a significant cultural heritage landscape that includes important built heritage resources, a formal designed landscape and a natural or picturesque landscape.

The estate dates back to the founding of the Town and was owned by such important early citizens as Peter Russell, Governor Simcoe's successor and William Dickson, a lawyer and merchant and member of the Legislative Council. Later summer residents included General Lansing, a prominent New York businessman and Civil War general, George Rand I and George Rand II, New York businessmen and philanthropists who made a lasting impact on the estate; and Calvin Rand, who, with Brian Doherty, founded the Shaw Festival.

The estate is indicative of the large lots and homes built in Niagara-on-the-Lake by wealthy summer visitors in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. There are three (3) significant buildings on the property and two (2) garden structures.

1. Randwood, the original summer home. This brick building may contain portions of the William Dickson house destroyed in the War of 1812-14. It has a mansard roof and characteristics of both the Second Empire and Italianate Villa styles. It has been considerably altered by a number of owners of the years.
2. The Coach House is the oldest of the three (3) buildings and may have been constructed by descendants of the William Dickson. It is Gothic Revival in style and was altered in the late 20<sup>th</sup> century.
3. The Sheets (Devonian) House was constructed in 1922 for Evelyn Rand on the occasion of her marriage to Henry Sheets. It is Colonial Revival in style and retains many original interior details, particularly on the main floor.
4. The brick pavilion and the wooden gazebo are significant structures that contribute to the picturesque cultural heritage landscape.

The property is enclosed on two (2) sides by a concrete and stone wall punctuated by brick pillars and two entrance gates, the main gate with its elaborate wrought iron details, and the gate leading to the Sheets (Devonian) house. The wall is a significant component of the cultural heritage landscape.

The Rand Estate contains remnants of a formal landscape designed by the firm of Dunninton-Grubb, pioneers in the profession of landscape architecture in Canada and founders of Sheridan Nurseries, who designed the landscapes for University Avenue in Toronto and Oakes Gardens in Niagara Falls. The natural or picturesque landscape

includes One Mile Creek and many unusual specimen trees and plants and native species. At one time the estate was a much larger, more self-sufficient and cohesive entity with a milkhouse, and stables which survives as a private home; but is now separated from the property.

## Description of Heritage Attributes

Key heritage attributes that reflect the Rand Estates importance as both a designed and natural or picturesque landscape indicative of the early settlement of the Town and the influx of wealthy summer residents in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries include:

- The concrete, brick and stone wall and entrance gate;
- The three extant buildings on the property – Randwood, the Coach House and the Sheets (Devonian House);
- The brick pavilion and the gazebo;
- The designed Dunnington-Grubb landscape including the walkway, lily pond, sculpture, stone bridges and walls and any remaining shrubs or plantings;
- Remnants of the picturesque natural landscape including mature native and specimen trees, plants and shrubs; and
- The boxwood hedge.

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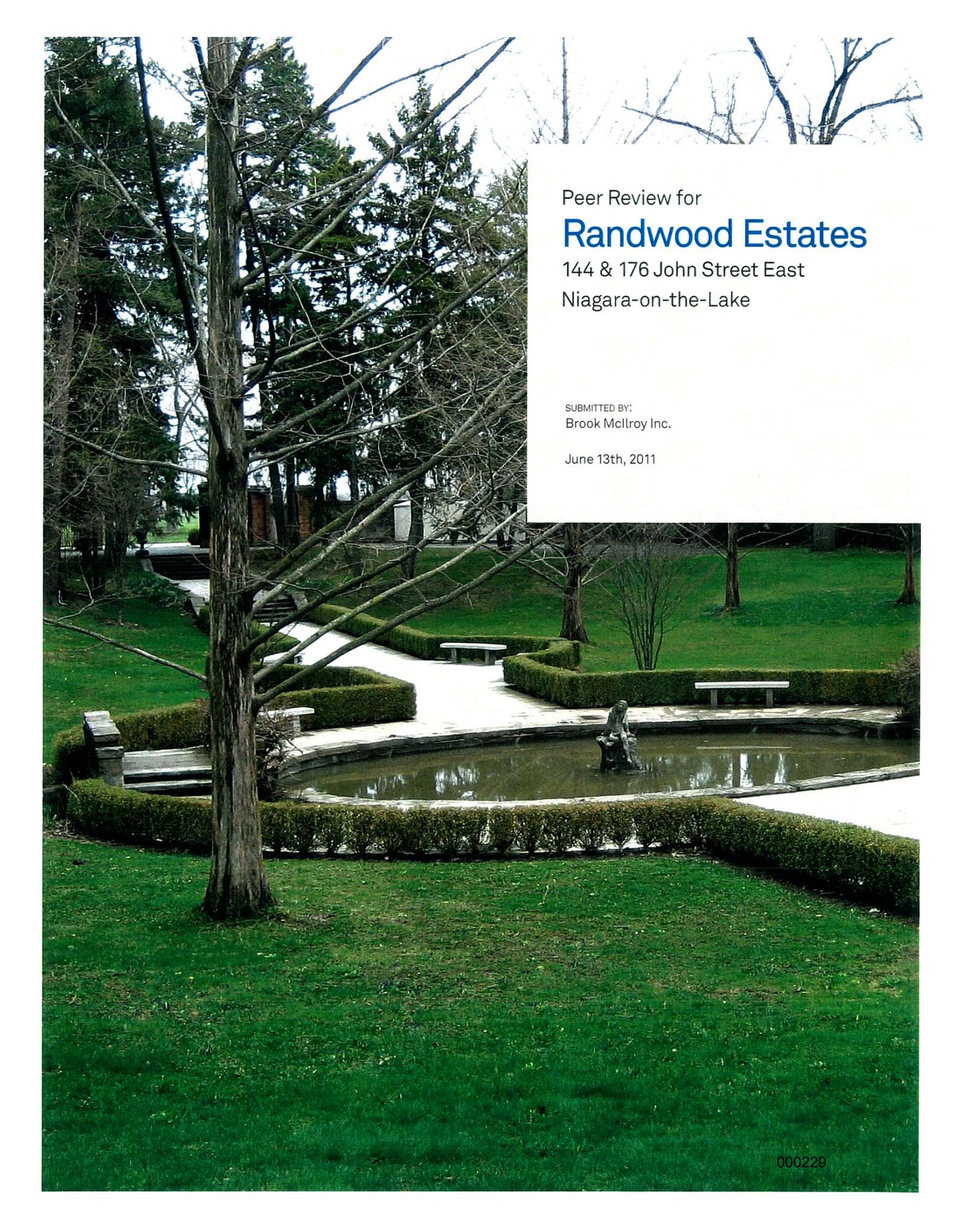
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Brook McIlroy Peer Review (2011)



Peer Review for

# Randwood Estates

144 & 176 John Street East  
Niagara-on-the-Lake

SUBMITTED BY:  
Brook McIlroy Inc.

June 13th, 2011



*Randwood Estates. Heritage buildings in a natural setting.*

# i. Executive Summary

The purpose of this Peer Review is to evaluate the preliminary design drawings of the proposed Inn and Arts Facility prepared by Allen Chiu Architects Inc. at Randwood Estates (144 & 176 John Street East, in Niagara-on-the-Lake).

The existing buildings on this property include a 3-storey Manor House, a 2.5-storey 'Devonian' Guest House, and a 1-storey Coach House/Studio. These buildings are generally modest in size, and are situated as singular buildings within the landscape.

A primary consideration of this review is the visual impact that the proposed development will have in relation to adjacent low-rise residential properties, and the removal and/or potential damage to mature landscape elements including trees, hedges and the creek.

The key priorities of this review are:

1. Adequate building setbacks to maintain privacy to adjacent residential properties and preservation of the creek, mature trees and other landscape elements.
2. The compatible height and mass of proposed buildings with existing buildings.
3. Assurance that the architectural quality of the proposed buildings is of a high standard in keeping with the complexity of their period style.

The Peer Review considers, and provides recommendations for:

## Site Design

The NPCA regulation area, and significant tree stands in the north end of the property, push the proposed development to the southern end of the property. As proposed, the buildings are situated too close (between 4.3-4.6 metres) to the east property line (with respect to the 7.5 metre setback required in the Zoning By-Law), resulting in privacy and noise concerns, as well as the removal of mature vegetation. Building # 7 is situated too close to, and will likely result in damage to, the existing hedgerow along the creek. It is recommended that the siting of buildings be reconsidered to reduce the mass of buildings at the southern end of the property, through the rotation of building # 4, and/or the redistribution of GFA to the existing central open space.

The proposed relocation of an existing parking area will make it a central feature in the landscape. It is recommended that the size of this lot be as minimal as possible, and that enhanced landscaping and design features are considered to minimize adverse impacts.

## Built Form

The proposed new buildings have a site coverage that is significantly greater (2.5 X) than the existing buildings. The large, continuous facades of these buildings require the removal of existing mature trees, and are inconsistent with the inherent character of buildings set within a natural landscape. The site design recommendations above, or similar considerations, should minimize the overall length and impact of these facades.

The architectural character of the buildings is generally consistent with the existing buildings, in façade variation, materials and proportion, with the exception of the east façade of Building # 4. It is recommended that all elevations of the building maintain a level of detail that is at least on par with the south elevation.

# 1.0 Introduction and Context

## 1.1 Introduction

This Peer Review addresses the Inn and Arts Facility proposed on the 13.29 acre Randwood Estates property at 144 & 176 John Street East, in Niagara-on-the-Lake.

There are three heritage buildings on the Randwood Estates property, including the Manor House, the 'Devonian' Guest House and a Coach House/Studio. The property's previous uses included the Niagara Institute and a religious school.

The current ER (Established Residential) zoning permits a single-detached dwelling, a private school, a bed and breakfast, a home occupation, a group home, a public use, and accessory buildings. A site-specific amendment would be required to allow for the proposed commercial development.

## 1.2 Context

### A Historic Landscape Setting

Preservation of the historic landscape setting is a primary factor in the siting and design of new development on the Estate. The primary entrance to Randwood Estates is from John Street, and provides a direct sightline to the Manor House. The landscape design, including the formality of the stonework walls and patios, and the curving walkways, are originally designed by Dunnington-Grubb. The landscape design is bucolic, mature and beautifully integrated with the existing creeks that run north-south and east-west through the property.

Despite the size of the property, there are limited advantageous sites to locate new buildings while maintaining a cohesive, integrated landscape setting.

Schedule A-2 in the Town's Comprehensive Zoning By-Law illustrates the alignment of this creek, and the NPCA regulation area that buffers it. These areas represent approximately half of the property, and must be protected. This, combined with the historic significance of the large, mature tree stands at the north end of the property, means the most advantageous development sites are at the southern end of the property.



Town of Niagara-on-the-Lake Comprehensive Zoning Bylaw (Schedule A-2)

- Water feature 2 / Agricultural infrastructure 2
- NPCA regulation area

Large mature trees, hedgerows and vegetation provide a visual buffer between Randwood Estates and neighboring properties including the Rand Property (200 John Street), property No. 588 (on the Proposed Site Plan), and the houses on Christopher Street.

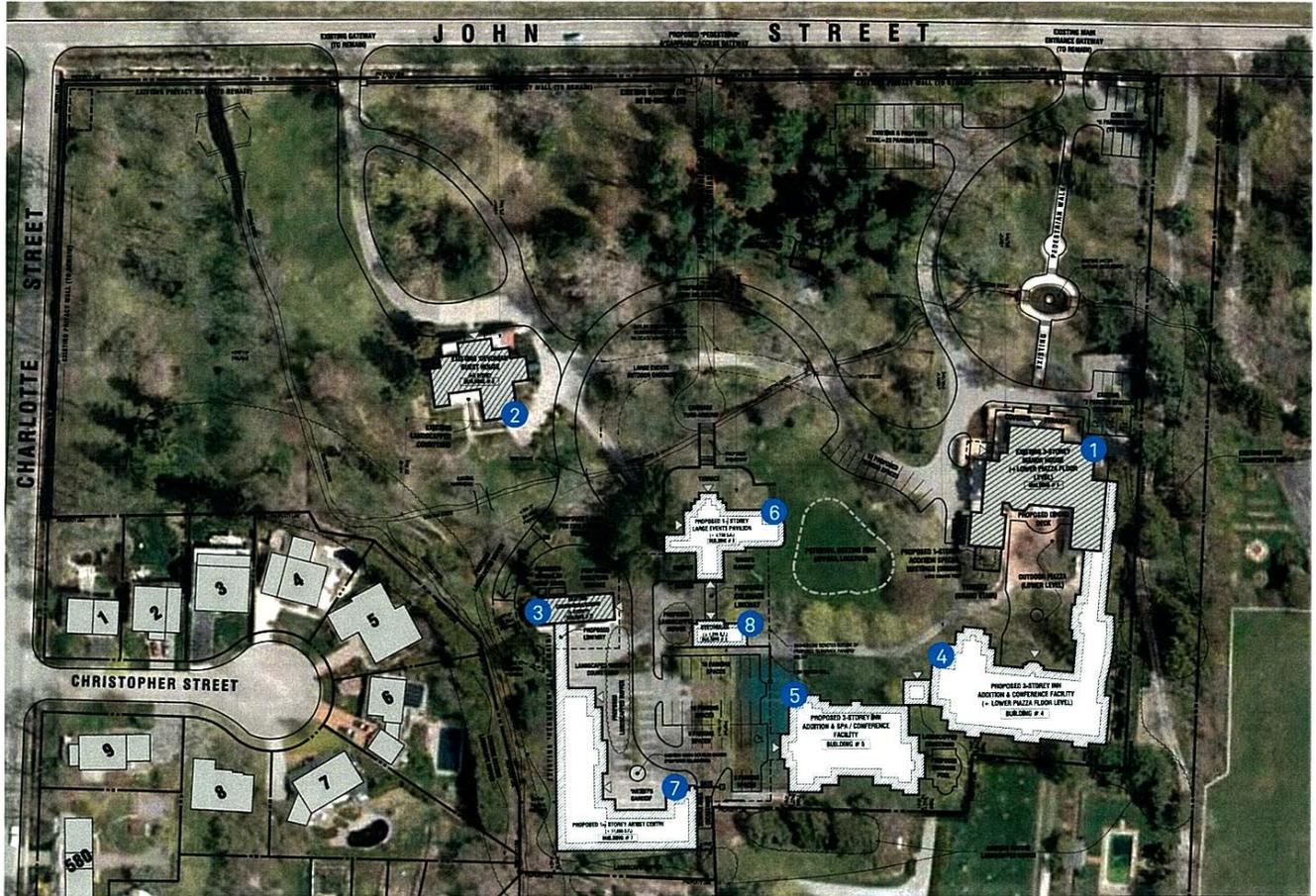
The east side of the property has been severed to provide a private driveway to the Rand Property (200 John Street).

**Existing Buildings**

The existing buildings on the property include a 3-storey Manor House, a 2.5-storey 'Devonian' Guest House, and a 1-storey Coach House/Studio. These heritage buildings are generally in good condition and their total site coverage is 1,615 m<sup>2</sup> or approximately 3% of the total property area. These buildings are generally modest in size, and designed with a pavilion-like character, to relate to the surrounding site and landscape on all sides.



The existing buildings at Randwood Estates (clockwise from top-left): Manor House (front and rear), 'Devonian' Guest House, and Coach House/Studio.



The proposed site plan for Randwood Estates.

**LEGEND**

- 1 Existing Manor House (3-storeys)
- 2 Existing 'Devonian' Guesthouse (2.5-storeys)
- 3 Existing Coach House/Studio (1-storey)
- 4 Proposed Inn Addition & Conference Facility (3-storeys)
- 5 Proposed Inn Addition & Spa/Conference Facility (3-storeys)
- 6 Proposed Large Events Pavilion (1.5-storeys)
- 7 Proposed Artists Centre (1.5-storeys)
- 8 Seedhouse

## 2.0 The Peer Review

### 2.1 Objective

The purpose of this Peer Review is to evaluate the preliminary design drawings of the proposed Inn and Arts Facility prepared by Allen Chiu Architects Inc. with respect to site design and the form and scale of the proposed buildings.

There are five new buildings proposed for the Inn and Arts Facility, including:

- Building # 4: 3-storey Inn Addition and Conference Facility (269 m<sup>2</sup>)
- Building # 5: 3-storey Inn Addition and Spa/Conference Facility (4,586 m<sup>2</sup>)
- Building # 6: 1.5-storey Large Events Pavilion (539 m<sup>2</sup>)
- Building # 7: 1.5-storey Artist Centre (2,147 m<sup>2</sup>)
- Building # 8: 1-storey Seed House (114 m<sup>2</sup>)

The provided set of drawings is preliminary, and therefore does not provide full plan and sectional information for each proposed building. A three-dimensional digital model would benefit the review of subsequent submissions.

The architectural design of the proposed buildings is important in relation to the architectural heritage of the existing buildings, particularly with respect to the proposed renovations. As the architectural design is likely to evolve as building designs are refined, some recommendations are provided where the impacts are greatest.

The Peer Review considers, and provides recommendations for:

**Site Design** – including siting and setbacks in relation to existing buildings and adjacent properties, impacts on the existing and proposed landscape, and surface parking design.

**Built Form** – including the massing and scale of the proposed buildings, and architectural design.

### 2.2 Site Design

#### Siting and Setbacks

Despite the large 13.29 acre property size, a number of limitations impact the placement of new buildings to ensure the heritage character of the site is maintained. This includes the NPCA regulation area, the heritage landscape and significant tree stands in the north end of the property, and the location of existing buildings. As a result, the southern end of the property and the central open space between the Manor House and the 'Devonian' Guest House are the most advantageous sites as they are open sites with few mature trees.

As proposed, Building # 4, 5 and 7 are situated too close (between 4.3-4.6 metres) to the rear and side property lines, which require a 7.5 metre setback in the Town's Comprehensive Zoning By-Law. This proximity of new development to the rear and side property lines has a number of negative impacts, including:

- The required removal of existing mature trees, hedgerows, and vegetation that enhances the attractiveness of the landscape, and acts as a visual and acoustic buffer between Randwood Estates and neighboring properties including the Rand Property (200 John Street), property No. 588 (on the Proposed Site Plan), and the houses on Christopher Street.
- Potential privacy conflicts due to the proposed building heights, which include taller buildings than the existing 2 to 3-storeys, and will overlook neighbouring properties.
- Potential noise concerns related to the proposed outdoor pool at the southern property boundary.

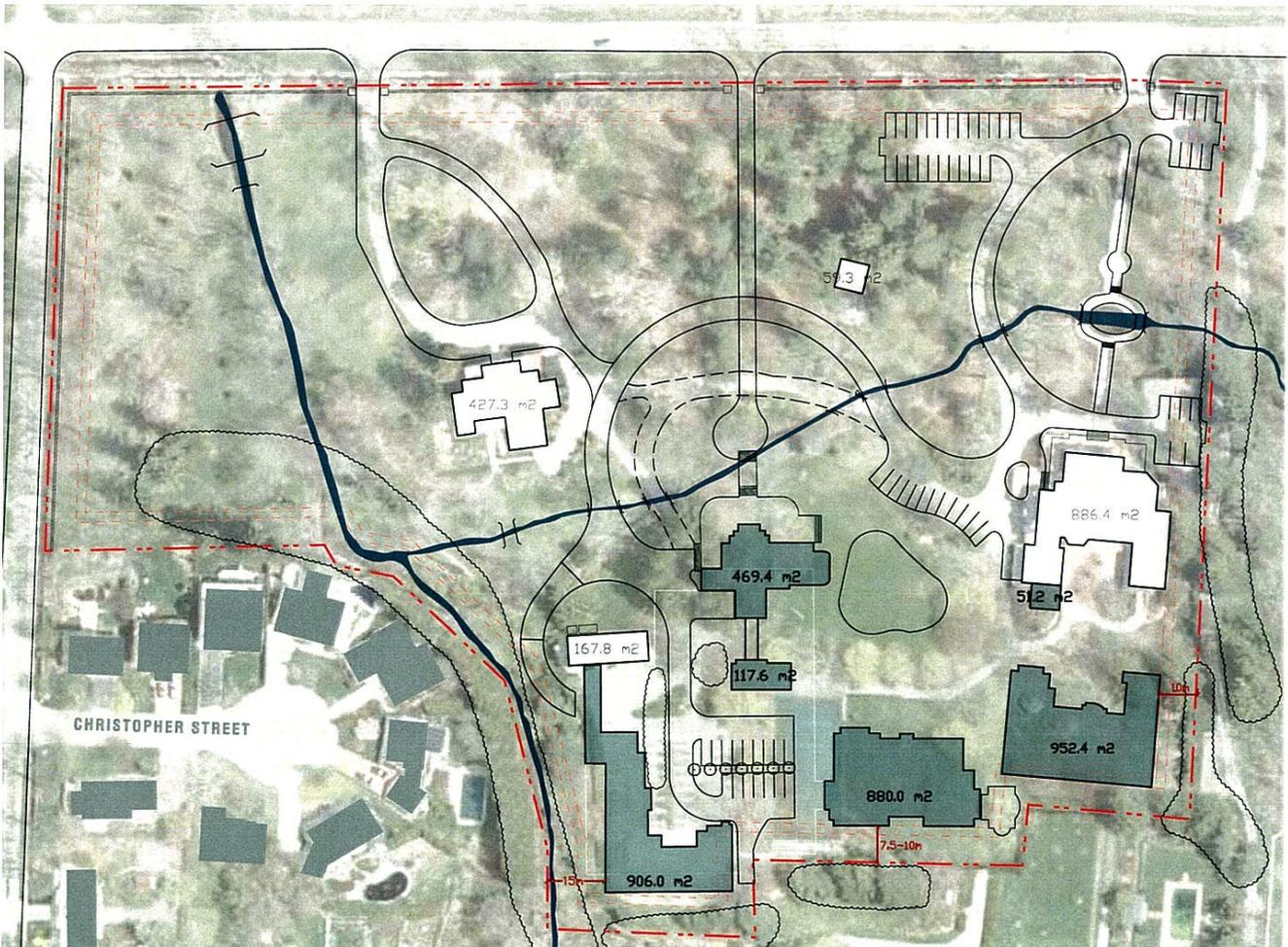
Building # 7, the 1.5-storey Artist Centre, is situated within 10 metres of the creek and construction of the building is likely to damage or kill the existing mature hedgerow that provides a privacy buffer between Randwood Estates and the dwellings on Christopher Street to the west.

**Recommendations**

The existing buildings at Randwood Estates exist as single buildings situated within a landscaped setting. For new development to maintain this character, and not create a mass of built form at the rear of the property, opportunities should be explored to reconfigure the location of buildings. Two options are proposed:

**Option 1**

- Increase the proposed building setback at east property line to 10 metres.
- Increase the proposed building setbacks at the south and west property lines to 10 metres (preferred) or 7.5 metres (minimum).
- Reduce building footprints for Buildings # 4, 5 and 7 to accommodate revised setbacks and smaller building footprints that fit within the context of the existing modest buildings set within the landscape (see table on the right for revised building footprints).
- Building # 4 should not connect to the Manor House.
- Remove/reduce the length of Building # 4 as shown in the proposed east elevation.



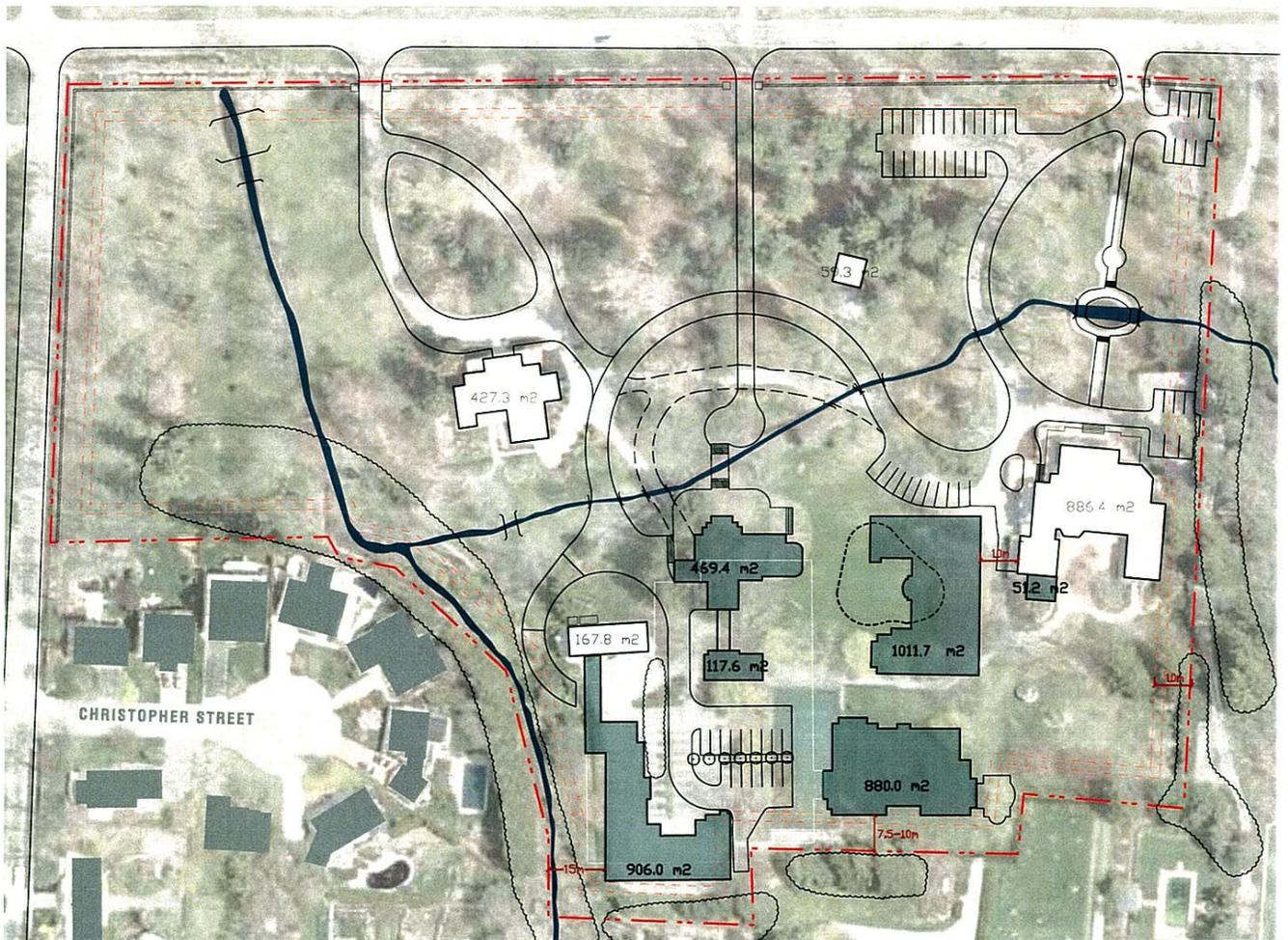
Option 1 - Decreased building footprints and increased setbacks minimize the impacts of the proposed development on adjacent, low-rise residential properties.

The footprints of the new buildings are as follows:

Building #	Existing	Option A	Option B
4	1564.6m <sup>2</sup>	952.4m <sup>2</sup>	1011.7m <sup>2</sup>
5	917.9m <sup>2</sup>	880.0m <sup>2</sup>	880.0m <sup>2</sup>
7	1089.7m <sup>2</sup>	906.0m <sup>2</sup>	906.0m <sup>2</sup>

**Option 2**

- Buildings are revised as per Option 1 to accommodate increased setbacks and smaller building footprints (see table on the left).
- Proposed Buildings # 5, 6, and 8 are shifted further west to allow Building # 4 to be relocated to frame a courtyard at the lawn with Buildings # 5, 6, and 8.



Option 2 - The relocation of Building # 4 creates a central courtyard with the proposed new buildings.

These options would result in:

- Architecture that is more restrained and contextually sensitive to the heritage context.
  - Mitigation of the privacy concerns associated with a 3-storey building directly adjacent to the east and south property line.
  - Opportunities to create a large courtyard between Buildings # 4, 5, 6 and 8.
- A significant open space at the southeast corner of the property.
  - The maintenance of existing mature trees, and potential to plant new trees as an additional landscaped buffer (at both the east and south property lines, where they will provide a noise buffer for the proposed pool, and potential new open space).



*The setbacks that currently exist on the east side of the Manor House accommodate large trees to buffer adjacent properties.*



*Opportunities exist to redistribute densities to the large open space that currently exists west of the Manor House.*

### Surface Parking Design

The four existing surface parking areas include approximately 50 spaces and are generally small and well integrated in the northern section of the site, allowing visitors to park and enjoy the landscaped approach to the Manor House. A larger surface lot is located to the southeast of the existing Coach House/Studio and contains approximately 35 parking spaces.

As a result of the proposed Building # 7, the existing surface lot has been increased in size and will have a more dominant role in the character of the site. An additional 119 parking spaces are proposed below grade, with access from the rear of the Coach House/Studio.

### Recommendations

The surface lot size should be reduced to accommodate the minimum number of parking spaces required at grade. Due to the central location of the lot, the overall design should be enhanced, including consistent landscaping around the perimeter, permeable paving (i.e. turf stone, limestone), planted medians and islands to create smaller “parking courts,” etc.

The underground ramp should be configured to provide adequate setbacks to the creek and to avoid disturbance of the boxwood hedge.



*The existing parking lot is currently tucked behind the Coach House/Studio, out of view.*

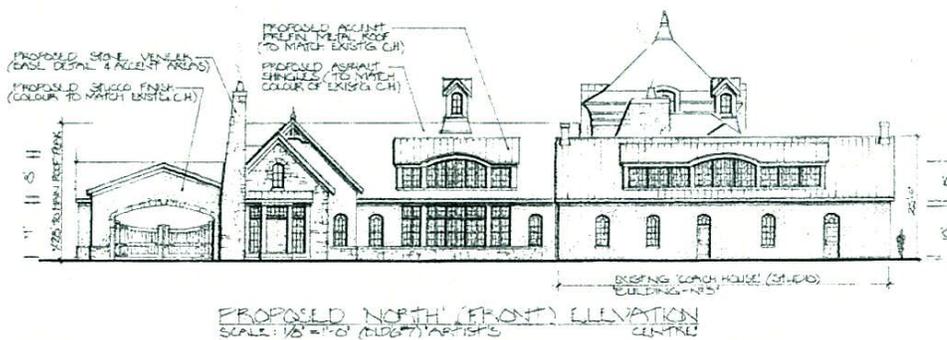
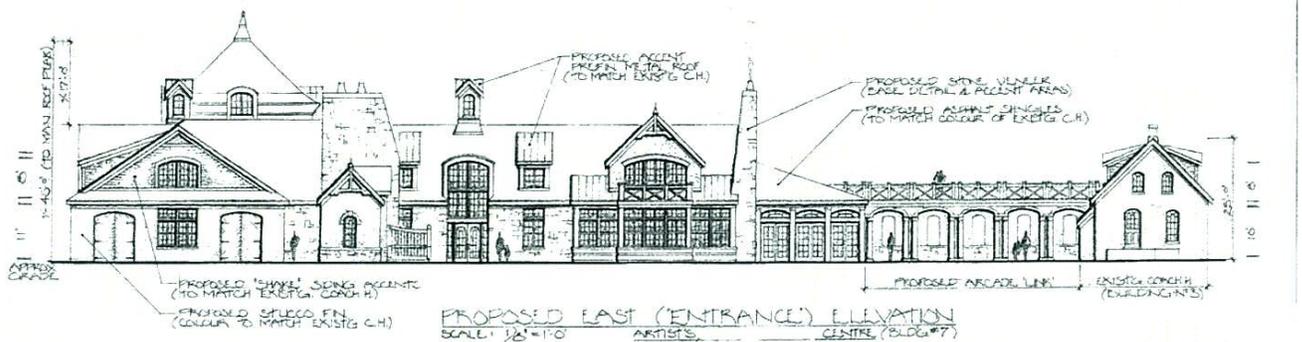


The existing buildings are generally modest in size, and designed with a pavilion-like character, to relate to the surrounding site and landscape on all sides. On the other hand, the proposed buildings (particularly Buildings # 4, 5 and the west side of Building # 7) have long, inter-connected facades that are more than twice the length of the Manor or 'Devonian' Guest House. At such a large scale, these buildings enclose the southern end of the property and may result in a monolithic, wall-like effect in building height and length that is inconsistent with the inherent character of existing buildings.

In the case of Building # 4, the connection to the existing Manor House intends to frame a new outdoor piazza. However, there are at least 4 or 5 mature trees, including an old chestnut, that require removal to accommodate this connection.

On Building # 5, the impact of this large inter-connected façade is further exaggerated by the proposed 5-storey height as shown on the north elevation (previous page).

While narrower, the proposed linkway between the existing Coach House and Building # 7 results in a similarly extensive façade condition (particularly on the west side).



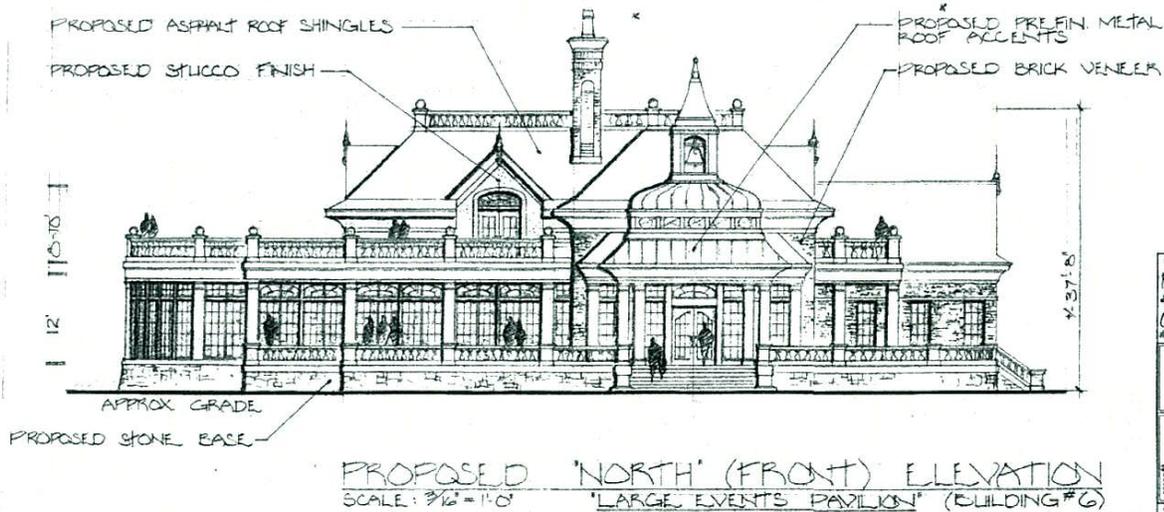
COMMISSION	ROMANCE INN & ARTIST CENTRE (RANWOOD ESTATES) PHASE 1 JOHN STINGE
ARCHITECT	allen + chui architects inc.
SHEET TITLE	PRELIMINARY ELEVATIONS (BUILDINGS #7 & 5)
DATE	1.18.2010
PROJECT NO.	2007-0101
SCALE	1/8\"/>
DATE	1.18.2010
PROJECT NO.	2007-0101

While not as wide, the linkway between the existing Coach House and Building # 7 results in a similarly extensive facade.

**Recommendations**

The recommended realignment of the proposed buildings (please see Section 2.2), or a similar consideration, should sufficiently reduce the overall scale (i.e. height and length) of the proposed buildings.

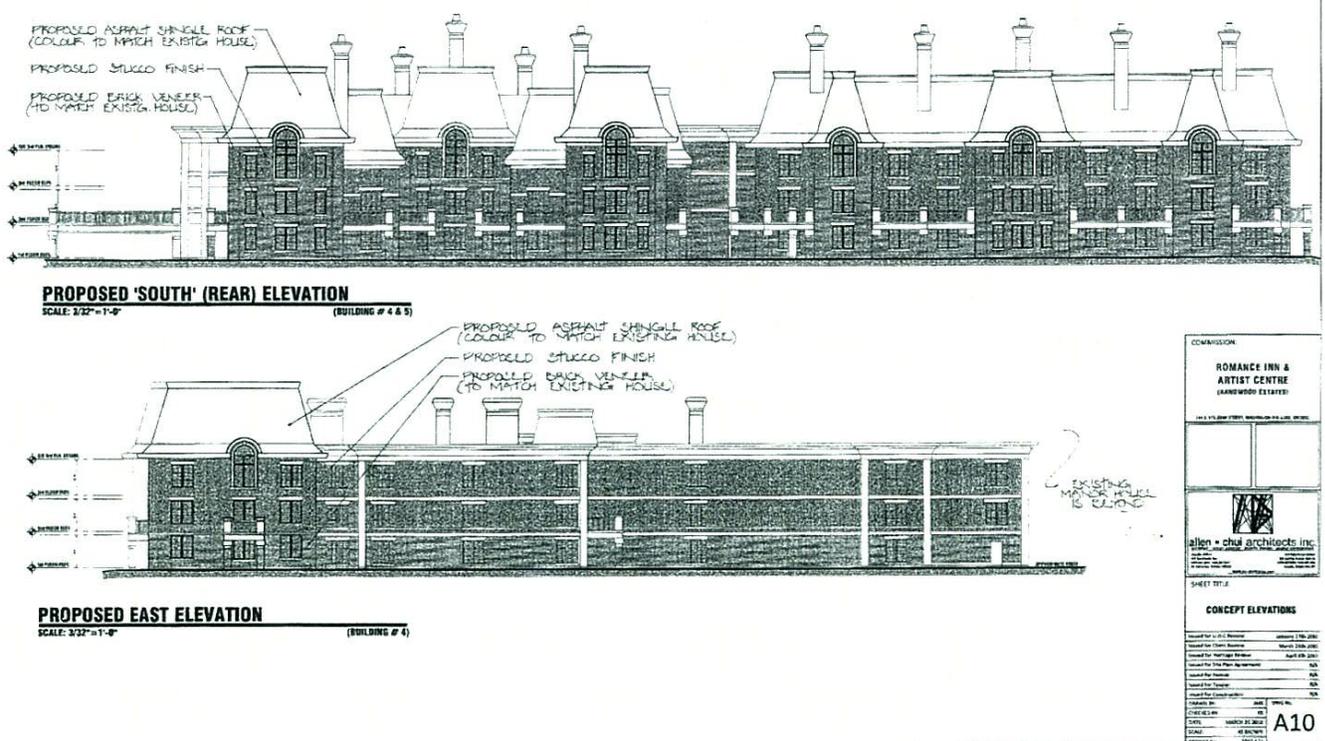
- The north 'wing' of Building # 4 that connects to the Manor House should be substantially reduced.
- The height of Building # 4 should be reduced to reflect a maximum height of 3-storeys above grade. The roof, chimneys, turrets, and other non-habitable architectural features may rise above this height.
- Architectural materials must be of high quality in keeping with the period of the existing buildings. The use of slate (roofs), brick, stone (building base), and wood are appropriate. Large amounts of stucco or similar lower quality materials is discouraged.



COMMISSION	
ROMANCE INN & ARTIST CENTRE (RANDWOOD ESTATES) 1714 & 176 JOHN STREET	
allen + chui architects inc.	
SHEET TITLE	
PRELIMINARY ELEVATION (BUILDING #6)	
Scale for Printing: 3/16" = 1'-0"	Scale for Use: 3/16" = 1'-0"
Scale for Plans: 3/16" = 1'-0"	Scale for Sections: 3/16" = 1'-0"
Scale for Details: 3/16" = 1'-0"	Scale for Elevation: 3/16" = 1'-0"
Scale for Foundation: 3/16" = 1'-0"	Scale for Roof: 3/16" = 1'-0"
Scale for Groundwork: 3/16" = 1'-0"	Scale for Other: 3/16" = 1'-0"
Author: J. F. F. F.	Checked: J. F. F. F.
Date: 12/12/12	Project: 12/12/12
A-11	

The architectural character proposed for the buildings is generally compatible with the existing buildings, including stucco and brick veneer finishing, and elaborate architectural detailing.

- The recommended rotation of Building # 4 (in Option 2) will significantly reduce the façade length on the east side of the building. However, all sides of the building should maintain a level of architectural detail that is at least on par with the south elevation as proposed in the drawings provided.
- Terraces on the upper-storeys of buildings should face the interior of the property, and should not overlook neighbouring properties.



The facades of all buildings, particularly the east facade of Building # 4, should have a level of architectural detail that is at least on par with the south facade.



Parks Canada Peer Review comments (p. 8 CDS-11-099) (2011)

Based on the comments provided by the Niagara Peninsula Conservation Authority the applicants' Landscape Architect met with the Conservation Authority staff in their offices and on site. As a result of these meetings separate reports were prepared by John Morley and Associates Landscape Architect and Greenwillow Consulting. These reports form an addendum to the Environmental Impact Study prepared in 2008. The reports identified and located the endangered Eastern Dogwoods and recommended appropriate avoidance procedures and preparation of a Tree Preservation Plan. The addendum also noted that no Papaw or Ohio Buckeye were found during the on site investigations.

The applicant intends to address other issues such as stormwater management and grading when the site plan application is submitted. The proposed master plan submitted as part of the Official Plan and Zoning By-law application locates the entrance/exit ramp to the underground parking area within the 15m floodplain buffer area. The applicants have agreed to relocate the vehicle access ramp away from the rear yards of the properties on Christopher Street and outside the 15m floodplain buffer area. The final location of the entrance ramp to the underground parking garage will be determined at site plan stage when detailed grading of the site is known. The proposed zoning by-law amendment recommended by staff does provide a minimum setback of 30.48m (100 ft.) *which would locate the ramp outside the floodplain buffer zone.*

#### Parks Canada

The application was circulated to Parks Canada for comment because the Commons and Butler's Barracks are adjacent to the Randwood Property on the north side of John Street.

Parks Canada has indicated that the size and location of the proposed development will pose little threat to the heritage integrity of the Butler's Barracks or Fort George National Historic Sites. Senior advisors did note, however, that some of the buildings were 4 storeys high with decorative chimneys and turrets. Staff at Parks Canada would not like to see anything higher because these architectural features would begin to dominate the forested horizon as viewed from the Commons. Chimneys are exempt from maximum height requirements in the Zoning By-law. The final determination of chimney height will be established at site plan stage when the final building elevations are approved.

#### Public Works

The Public Works Department indicated that it has no concerns at this time and will provide detailed comments when a site plan application is submitted.

With respect to the parking and traffic study produced by Paradigm Transportation Solutions, Public Works reviewed the report and did not identify concerns regarding traffic matters and indicated that intersections outside of the Town's control should be reviewed by the Region and the Niagara Parks Commission. The Niagara Parks



Archaeologix Archaeological Assessment (2008)